

0 1 2 3m

**GENERAL NOTES**

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK
- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM
- DO NOT SCALE DRAWINGS
- USE FIGURED DIMENSIONS ONLY

**NOTES**

Signage is subject to a future DA

**FACADE TYPES**

**FAC01** - Typical Curtain wall system composed of full height DGU/IGU panel with continuous aluminium spandrel to floor/ services zone.

**FAC02** - Non-glazed curtain wall system composed of full height horizontal aluminium batten screen with aluminium sheet cladding (air-seal) behind, with continuous aluminium spandrel panel to services zone.

**FAC03** - Glazed curtain wall system composed of a full height DGU/IGU panel with full height horizontal aluminium batten screen over and with continuous aluminium spandrel panel to services zone.

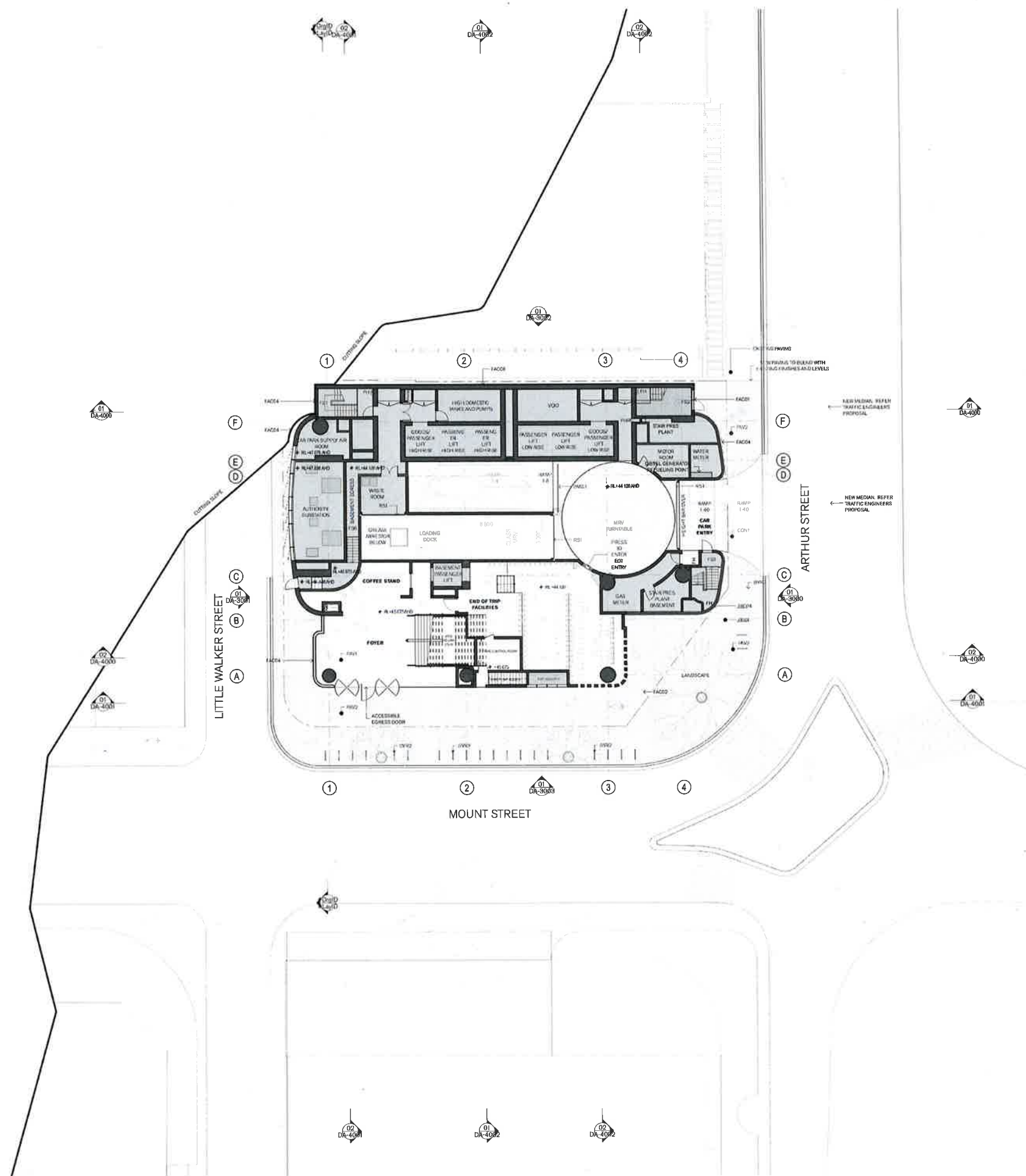
**FAC04** - Natural stone cladding over concrete/masonry subframe on pin fixings.

**FAC05** - Framedless full height (6.7m high) glass shopfront system. (Single spans not broken)

**FAC06** - Terracotta tile rain-screen cladding system over structural concrete wall

**FAC07** - Window wall glazing system with fixed sashes to fire egress stairs.

**FAC08** - Concrete wall painted



01 PLAN Level 00 Mount St Entry and Cafe  
1:200

RECEIVED BY CS  
-12 May 2017  
NORTH SYDNEY COUNCIL

| REV | DATE    | REVISION                                | BY | CHK |
|-----|---------|-----------------------------------------|----|-----|
| 10  | 10/5/17 | Issued for Construction                 | SM | SM  |
| 11  | 4/5/17  | Issued for Client Review and Discussion | SM | SM  |
| 12  | 18/4/17 | Issued for Information                  | SM | SM  |
| 13  | 20/3/17 | Issued for Information                  | SM | SM  |
| 14  | 22/2/17 | Issued for Consultant Coordination      | SM | SM  |

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sydney melbourne oxford london  
Level 6, 70 King Street t +61 2 9251 1071 w fjmtstudio.com

fjmt

project  
**118 Mount Street - Redevelopment**  
118 Mount Street  
Sydney NSW 2060

title  
**General Arrangement Plans**  
**Level 00**

scale 1:100 @ A1 first issued 30/5/16

project code Z118M sheet no. DA-2000 revision 16

For Approval

0 1 2 km

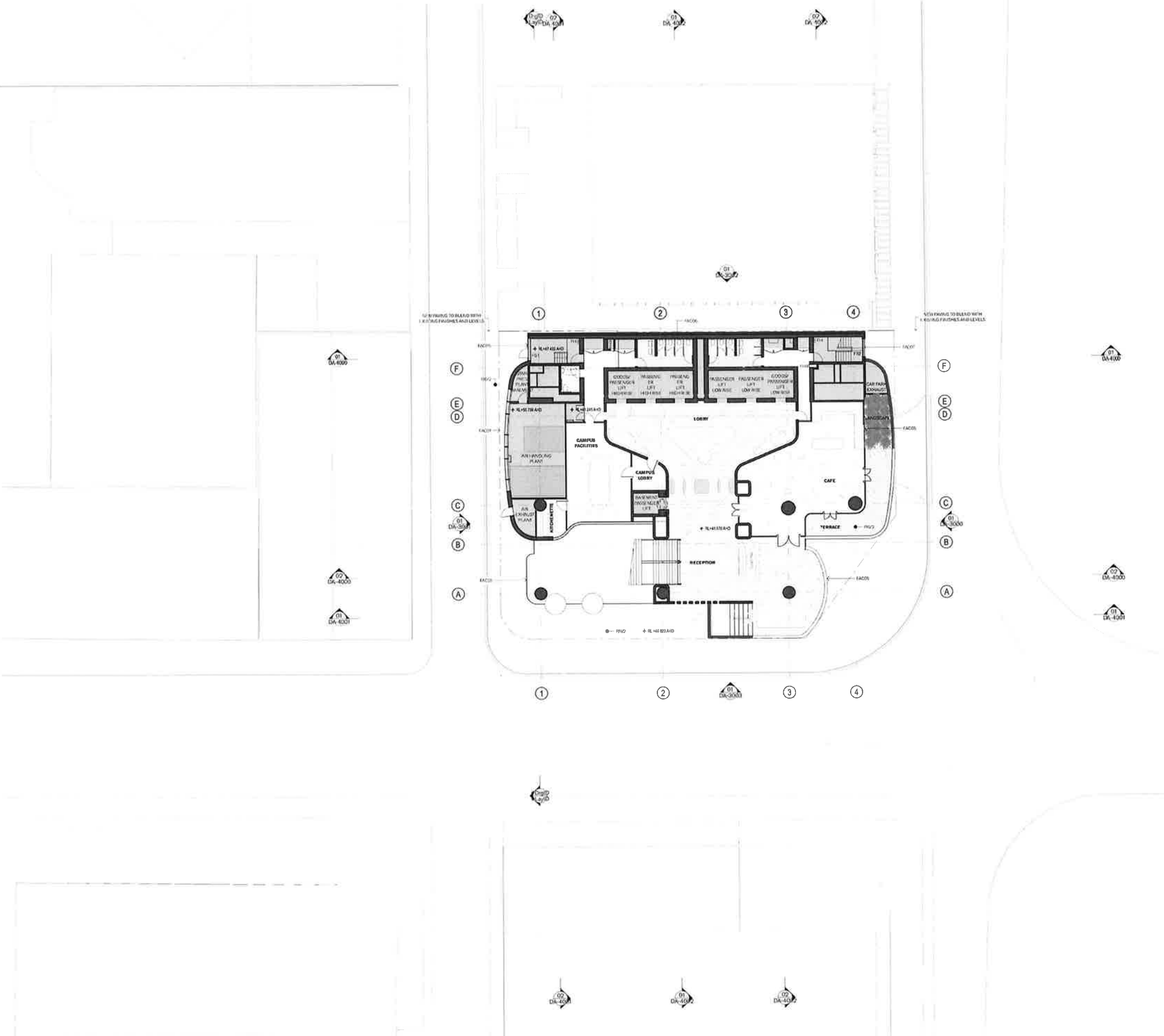
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- FAC08** - Concrete wall painted



01 PLAN Level 01 Commercial Lobby  
1:200

|    |         |                                         |                 |
|----|---------|-----------------------------------------|-----------------|
| 16 | 10/6/17 | Issued for Client Review and Discussion | Detail<br>Mason |
| 15 | 4/6/17  | Issued for Client Review and Discussion | Simon<br>Barr   |
| 14 | 18/4/17 | Issued for Information                  | Simon<br>Barr   |
| 13 | 2/4/17  | Issued for Information                  | Simon<br>Barr   |
| 12 | 22/2/17 | Issued for Consultant Coordination      | Daniel<br>Mical |

| rev | date | name | by | chk |
|-----|------|------|----|-----|
|-----|------|------|----|-----|

**fm studio** architecture urbanism landscape  
118 Mount Street Level 10 Sydney NSW 2060  
t: 02 9250 1234 e: info@fmstudio.com.au w: fmstudio.com.au



project  
**118 Mount Street - Redevelopment**  
118 Mount Street  
Sydney NSW 2060

title  
**General Arrangement Plans  
Level 01**

|              |            |              |          |
|--------------|------------|--------------|----------|
| scale        | 1:100 @ A1 | first issued | 30/05/16 |
| project code | Z118M      | sheet no.    | DA-2001  |
|              |            | revision     | 16       |

For Approval

0 1 2 3m

**GENERAL NOTES**

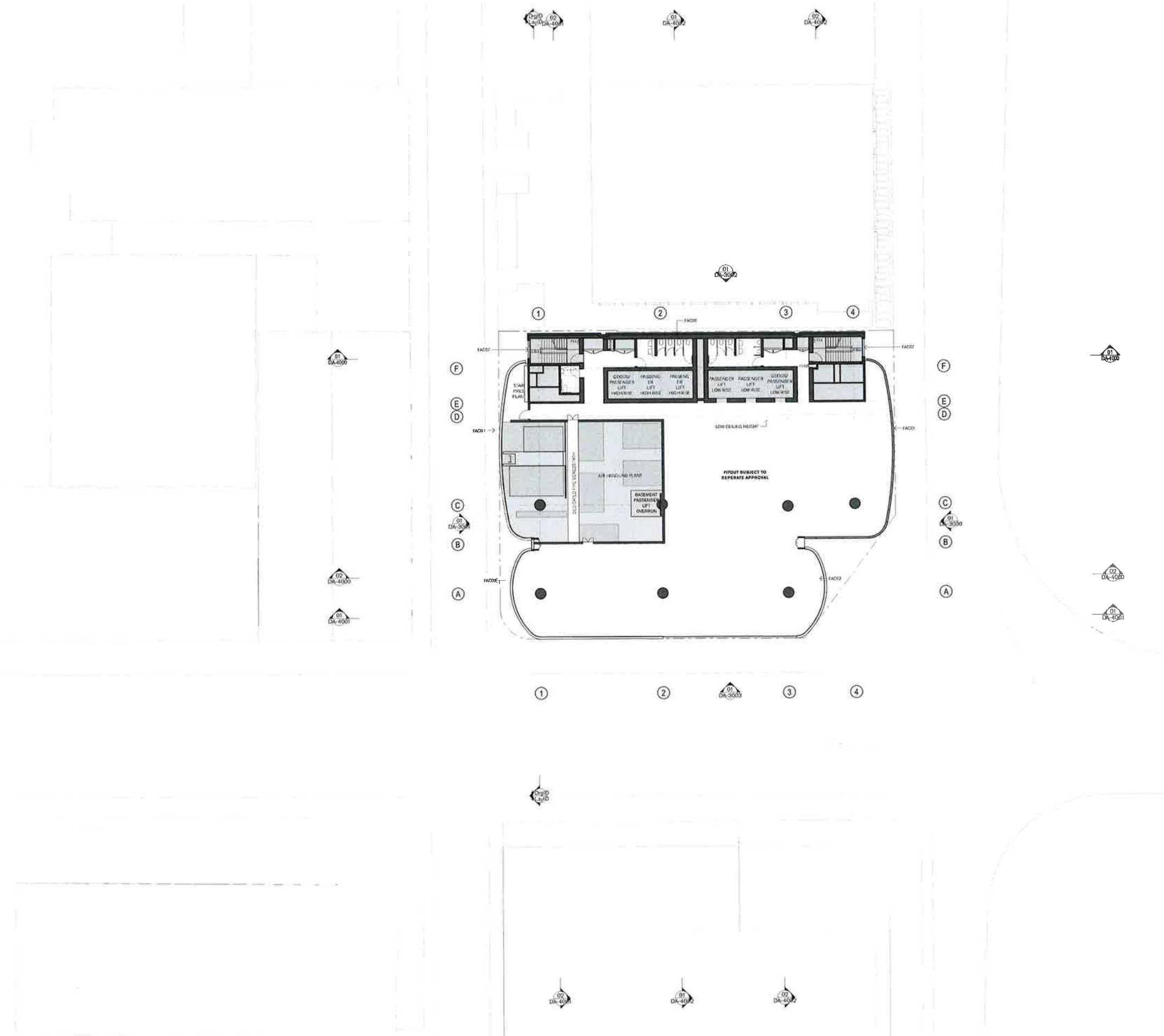
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**Legend**

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- FAC07** - Window wall glazing system with fixed sashes to fire egress stair.
- FAC08** - Concrete wall painted



01 PLAN Level 02 Office and Plant  
1:200

|     |         |                                         |                 |
|-----|---------|-----------------------------------------|-----------------|
| 16  | 10/5/12 | Issued for Client Review and Discussion | Daniel Morehead |
| 15  | 4/6/11  | Issued for Client Review and Discussion | Sharon Blum     |
| 14  | 18/4/11 | Issued for Information                  | Sharon Blum     |
| 13  | 2/8/10  | Issued for Information                  | Sharon Blum     |
| 12  | 22/2/10 | Issued for Consultant Coordination      | Daniel Morehead |
| rev | date    | name                                    | by              |

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Level 16, 10 King Street & 101-2 9200 1017 [www.fjmtstudio.com](http://www.fjmtstudio.com)



proj#11  
118 Mount Street - Redevelopment  
118 Mount Street  
Sydney NSW 2060

title  
General Arrangement Plans  
Level 02

|              |            |              |         |
|--------------|------------|--------------|---------|
| scale        | 1:100 @ A1 | first issued | 30/8/16 |
| project code | 2118M      | sheet no.    | DA-2002 |
|              |            | revision     | 16      |

For Approval

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NOTES

Signage is subject to a future DA

FACADE TYPES

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FAC03 - Glazed curtain wall system composed of a full height DGLU/IGL panel with full height horizontal aluminium balustrade over and with continuous aluminium spandrel panel to services zone

FAC04 - Natural stone cladding over concrete/masonry substrate on pin fixings

FAC05 - Frameless full height (6.7m high) glass shopfront system. (Single spans not broken)

FAC06 - Terracotta tile rain-screen cladding system over structural concrete wall

FAC07 - Window wall glazing system with fixed sashes to fire egress stair.

FAC08 - Concrete wall painted

| rev | date  | name                    | by  | chk |
|-----|-------|-------------------------|-----|-----|
| 15  | 15/11 | Issued for Construction | Sam | Sam |
| 14  | 14/11 | Issued for Information  | Sam | Sam |
| 13  | 13/11 | Issued for Information  | Sam | Sam |

118 Mount Street - Redevelopment  
118 Mount Street  
Sydney NSW 2060

118 Mount Street - Redevelopment  
118 Mount Street  
Sydney NSW 2060

General Arrangement Plans  
Level 03

| scale        | 1:100 @ A1 | date issued | 30/8/16 |
|--------------|------------|-------------|---------|
| project code | Z118M      | sheet no.   | DA-2003 |
| revision     |            | 15          |         |

**GENERAL NOTES**  
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Legend

**NOTES**

Signage is subject to a future DA

**FACADE TYPES**

**FAC01** - Typical Curtain wall system composed of full height DGU/GLU panel with continuous aluminium spandrel to floor/ services zone

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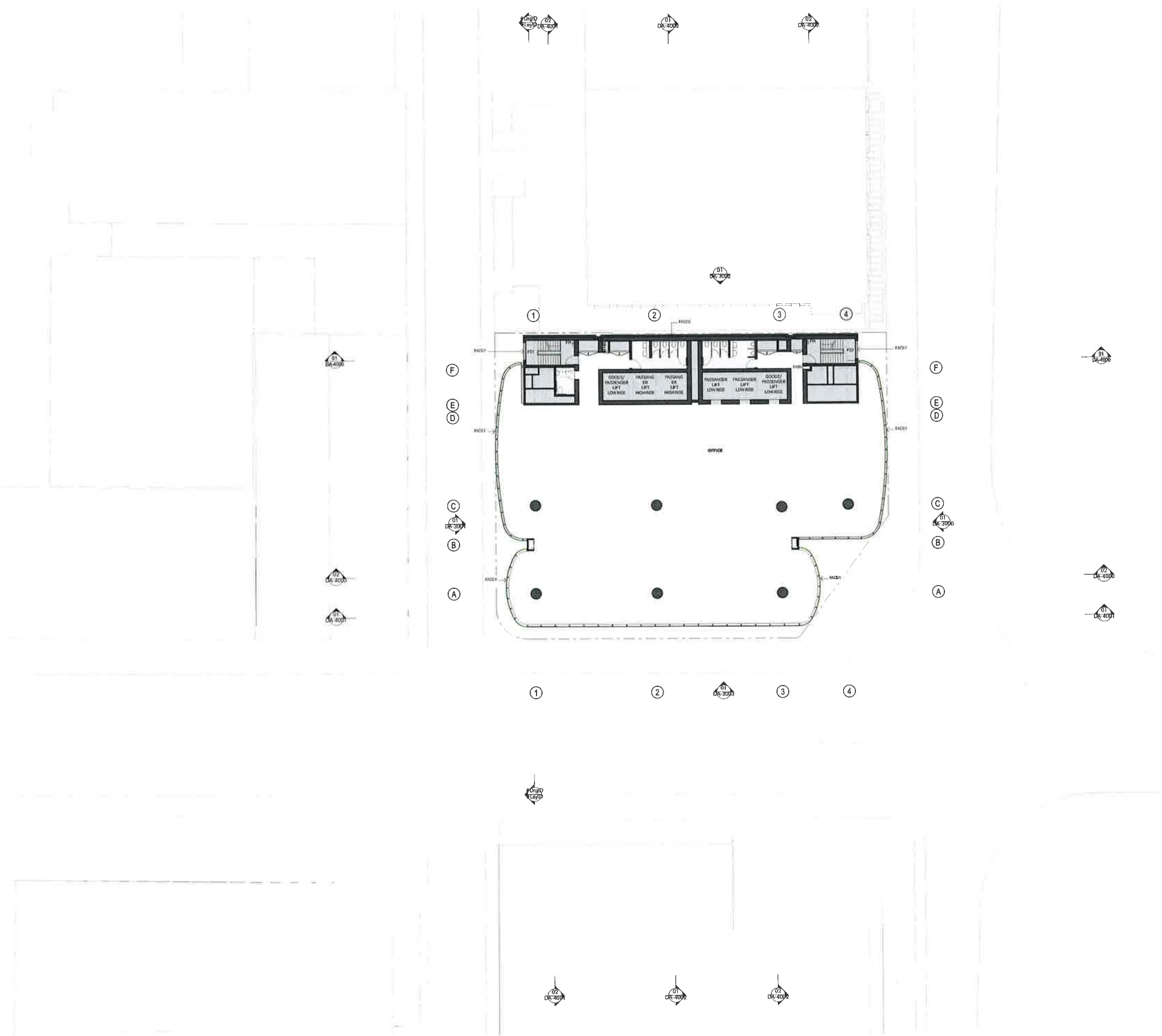
**FAC04** - Natural stone cladding over concrete/masonry substrate on pin fixings.

**FAC05** - Frameless full height (6.7m high) glass shopfront system. (Single spans not broken)

**FAC06** - Terracotta tile rain-screen cladding system over structural concrete wall

**FAC07** - Window wall glazing system with fixed sashes to fire egress stair.

**FAC08** - Concrete wall painted



01 PLAN Level 04-11 Typical Low Rise  
1:200

| rev | date    | name                    | by  | chk |
|-----|---------|-------------------------|-----|-----|
| 15  | 8/5/17  | Issued for Construction | Sim | n   |
| 14  | 14/1/17 | Issued for Information  | Sim | n   |
| 13  | 2/3/17  | Issued for Information  | Sim | n   |

fjmt studio architecture interiors landscape urban  
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Level 0, 10 King Street 1451 21225 7077 w fjmtstudio.com

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project  
118 Mount Street - Redevelopment  
118 Mount Street  
Sydney NSW 2060

title  
General Arrangement Plans  
Level 04-11

| scale        | 1:100 @ A1 | first issued | 30/9/16 |
|--------------|------------|--------------|---------|
| project code | Z118M      | sheet no.    | DA-2004 |
| revision     |            | revision     | 15      |

For Approval

**NOTES**  
Signage is subject to a future DA

**FAC01** - Typical Curtain wall system composed of full height DGU/IGU panel with continuous aluminium spandrel to floor/services zone.

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**FAC03** - Glazed curtain wall system composed of a full height DGU/IGU panel with full height horizontal aluminium batt screen over and with continuous aluminium spandrel panel to service zone.

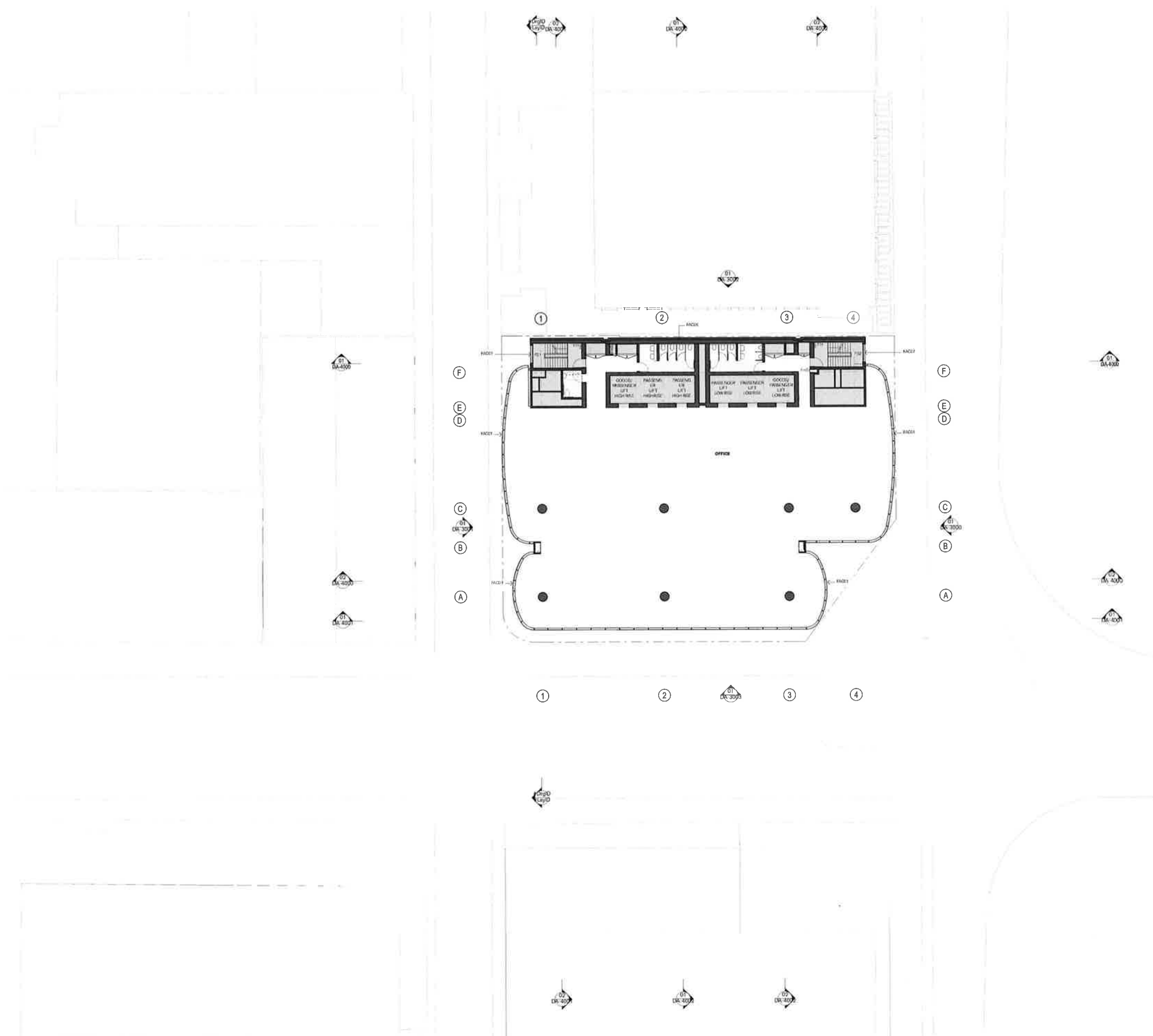
**FAC04** - Natural stone cladding over concrete/masonry substrate on pin fixings.

**FAC05** - Frameless full height (6.7m high) glass shopfront system. (Single spans not broken)

**FAC06** - Terracotta tile rain-screen cladding system over structural concrete wall

**FAC07** - Window wall glazing system with fixed sashes to fire egress stair.

**FAC08** - Concrete wall painted



| row | date    | name                                    | by            | chk |
|-----|---------|-----------------------------------------|---------------|-----|
| 15  | 4/5/17  | Issued for Client Review and Discussion | Simon<br>Barr |     |
| 14  | 16/4/17 | Issued for Information                  | Simon<br>Barr |     |
| 13  | 2/4/17  | Issued for Information                  | Simon<br>Barr |     |

flint studio architecture interiors landscape urban  
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Level 5, 70 King Street | +61 2 8251 7077 | [www.flintstudio.com](http://www.flintstudio.com)

**fjmt**

project  
**118 Mount Street - Redevelopment**  
118 Mount Street  
Sydney NSW 2060

## General Arrangement Plans Level 12 Lift Transfer

|              |                |              |         |
|--------------|----------------|--------------|---------|
| sc no        | 1:100 @ A1     | first issued | 30/9/16 |
| project code | sheet no.      | revision     |         |
| <b>Z118M</b> | <b>DA-2005</b> | <b>15</b>    |         |

**For Approval**





- GENERAL NOTES**
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**NOTES**

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**FACADE TYPES**

**FAC01** - Typical Curtain wall system composed of full height DGIU/GU panel with continuous aluminium spandrel to floor/ services zone.

**FAC02** - Non-glazed curtain wall system composed of full height horizontal aluminium battens screen with aluminium sheet cladding (rain seal) behind, with continuous aluminium spandrel panel to services zone.

**FAC03** - Glazed curtain wall system composed of a full height DGIU/GU panel with full height horizontal aluminium battens screen over and with continuous aluminium spandrel panel to services zone.

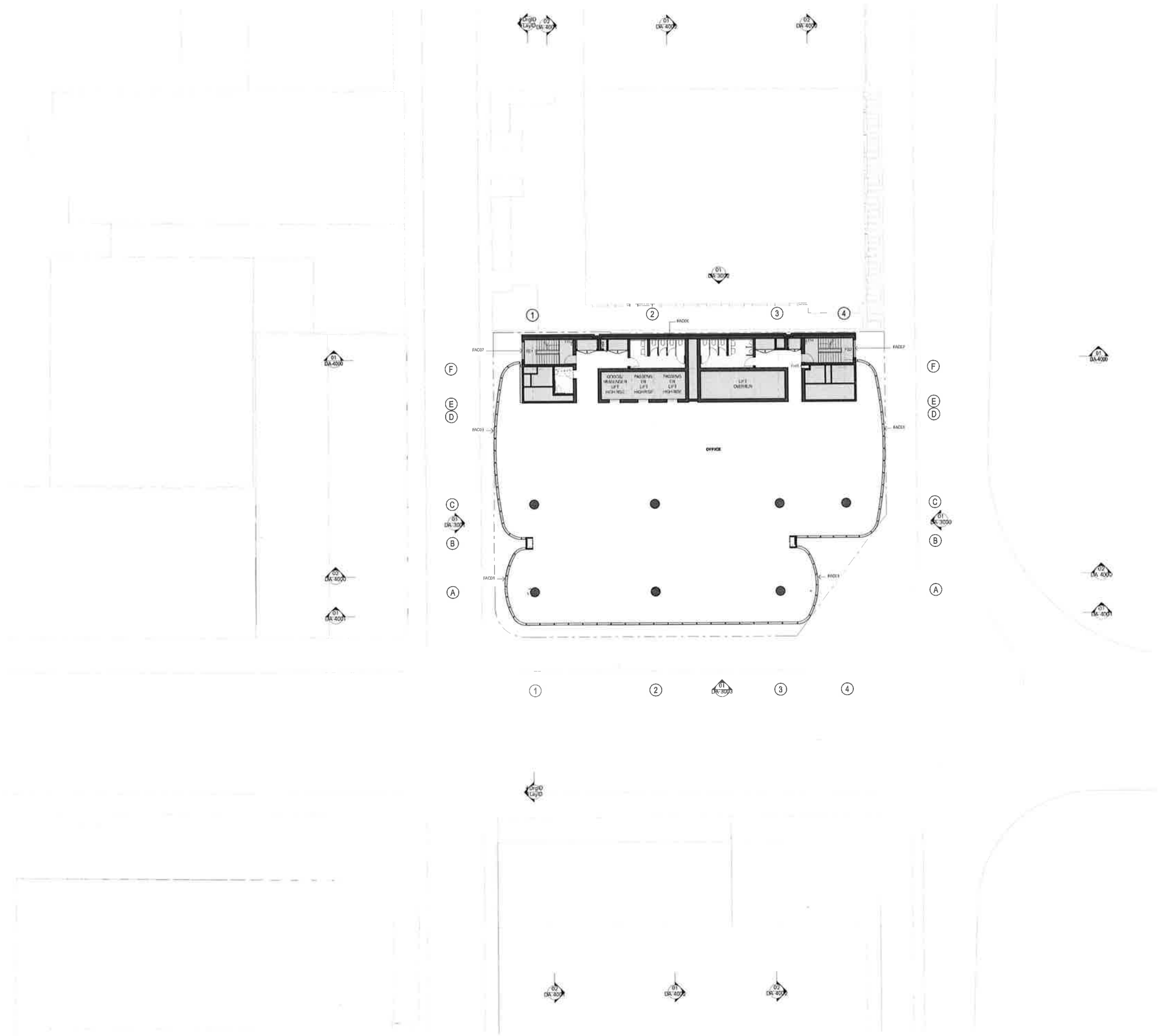
**FAC04** - Natural stone cladding over concrete/masonry substrate on pin fixings.

**FAC05** - Frameless full height (6.7m high) glass shopfront system. (Single spans not broken).

**FAC06** - Terracotta tile rain screen cladding system over structural concrete wall.

**FAC07** - Window wall glazing system with fixed sashes to fire egress stair.

**FAC08** - Concrete wall painted.



**01** PLAN Level 13-15 Lift Overrun  
1:200

|     |         |                                         |            |
|-----|---------|-----------------------------------------|------------|
| 15  | 4/5/17  | Issued for Client Review and Discussion | Simon Barr |
| 14  | 12/4/17 | Issued for Information                  | Simon Barr |
| 13  | 2/3/17  | Issued for Information                  | Simon Barr |
| rev | date    | name                                    | by chk     |

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**ffmj**  
studio

project  
**118 Mount Street - Redevelopment**  
118 Mount Street  
Sydney NSW 2060

title  
**General Arrangement Plans**  
**Level 13-15 Lift Overrun**

|              |            |              |          |
|--------------|------------|--------------|----------|
| scale        | 1:100 @ A1 | first issued | 30/10/16 |
| project code | sheet no.  | revision     |          |
| Z118M        | DA-2008    | 15           |          |

**For Approval**



0 1 2 3m

**GENERAL NOTES**

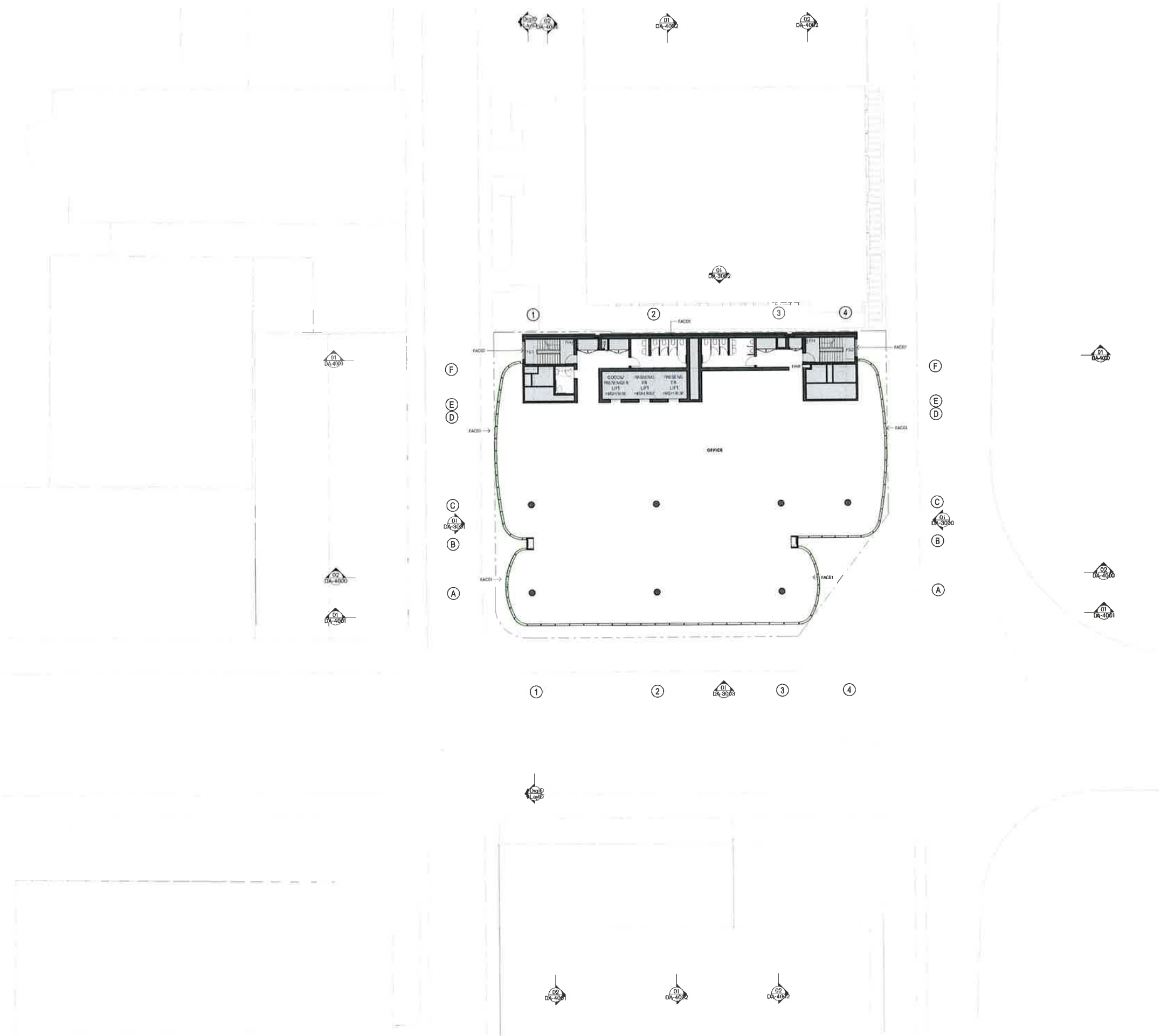
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Legend

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- FAC04** - Natural stone cladding over concrete/masonry substrate on pin fixings.
- FAC05** - Frameless full height (6.5m high) glass shopfront system. (Single spans not broken)
- FAC06** - Terracotta tile rain-screen cladding system over structural concrete wall
- FAC07** - Window wall glazing system with fixed sashes to fire egress stair.
- FAC08** - Concrete wall painted



**01** PLAN Level 16-21 Typical High Rise  
1:200

| rev | date    | name                                  | by | chk |
|-----|---------|---------------------------------------|----|-----|
| 15  | 30/9/17 | Issued for Construction and Discharge |    |     |
| 15  | 4/10/17 | Issued for Construction and Discharge |    |     |
| 14  | 16/4/17 | Issued for Information                |    |     |

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project  
**118 Mount Street - Redevelopment**  
118 Mount Street  
Sydney NSW 2060

title  
**General Arrangement Plans**  
**Level 16-21**

|              |                |              |           |
|--------------|----------------|--------------|-----------|
| scale        | 1:100 @ A1     | first issued | 30/9/16   |
| project code | sheet no.      | revision     |           |
| <b>Z118M</b> | <b>DA-2007</b> |              | <b>16</b> |

For Approval



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**FAC08** - Glazed curtain wall system composed of a full height **DSUNGU** panel with full height horizontal aluminium balton screen over and with continuous aluminium spandrel panel to services zone

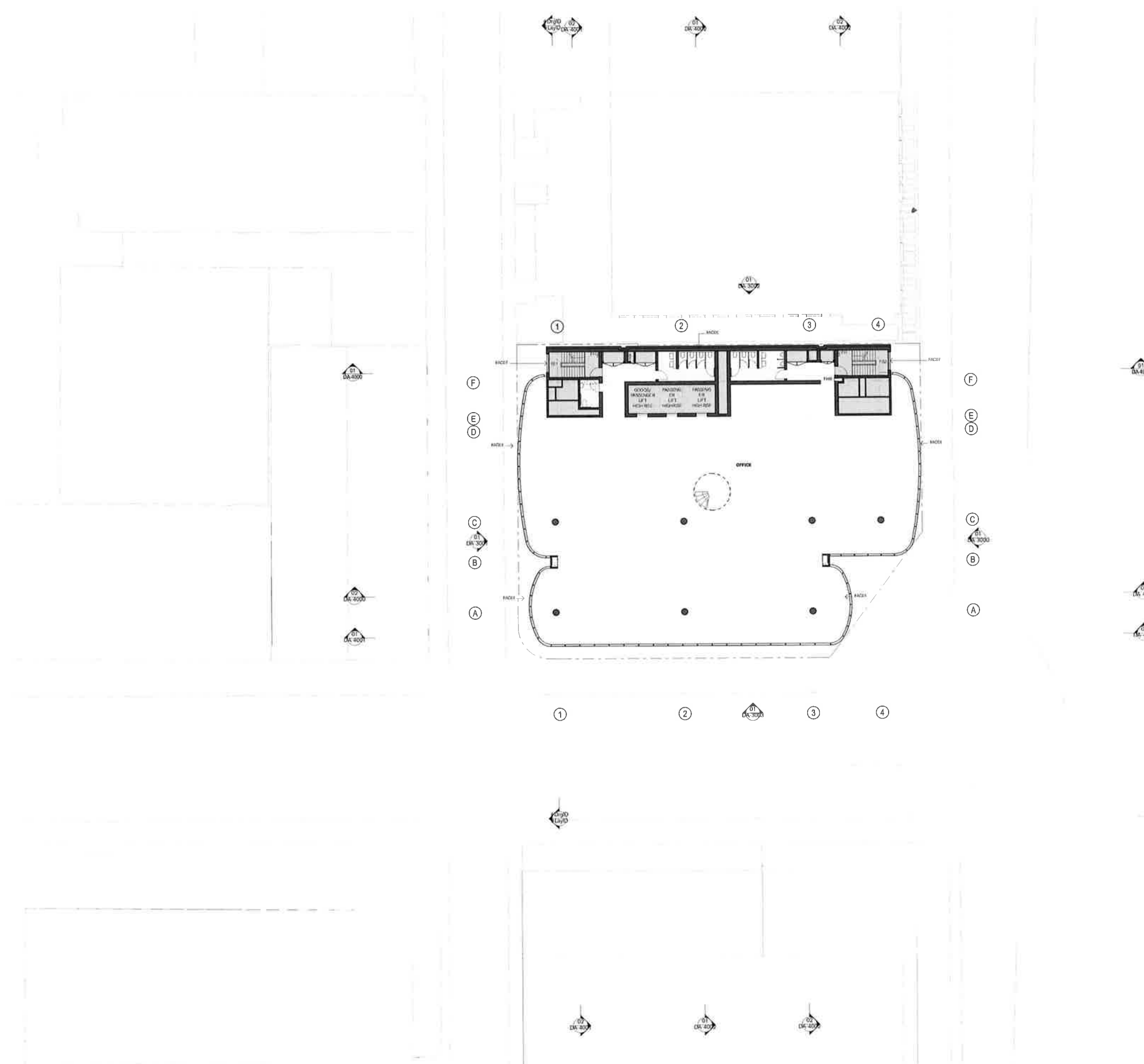
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**FAC05** - Frameless full height (6.7m high) glass shopfront system. (Single spans not broken)

**FAC08** - Terracotta tile rain screen cladding system over structural concrete wall

**FAC07** - Window wall glazing system with fixed sashes to form across stair.

**FAC08** - Concrete wall painted



**01** PLAN Level 22 Office  
1:200

|    |         |                                        |               |
|----|---------|----------------------------------------|---------------|
| 15 | 4/5/17  | Issued for Crest Review and Discussion | Simon<br>Bert |
| 14 | 18/4/17 | Issued for Information                 | Simon<br>Bert |
| 13 | 2/3/17  | Issued for Information                 | Simon<br>Bert |

rev date name by ch

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**fjmt**

project  
**118 Mount Street - Redevelopment**  
118 Mount Street  
Sydney NSW 2060

title  
**General Arrangement Plans  
Level 22**

|              |                |              |           |
|--------------|----------------|--------------|-----------|
| scale        | 1:100 @ A1     | first issued | 21/10/19  |
| project code | sheet no.      | revision     |           |
| <b>Z118M</b> | <b>DA-2008</b> |              | <b>15</b> |

**For Approval**



**GENERAL NOTES**  
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Legend

**NOTES**

Signage is subject to a future DA

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**FAC06** - Terracotta tile rain screen cladding system over structural concrete wall

**FAC07** - Window wall glazing system with fixed sashes to fire egress stair

**FAC08** - Concrete wall painted

01 PLAN Level 23 Sky Terrace / Plant  
1:200

For Approval

| rev | date     | name                            | by         | chk |
|-----|----------|---------------------------------|------------|-----|
| 15  | 16/11/17 | Finalise Construction Documents | Simon Barr |     |
| 14  | 16/11/17 | Finalise Information            | Simon Barr |     |
| 13  | 2/11/17  | Issued for Information          | Simon Barr |     |

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project  
**118 Mount Street - Redevelopment**  
118 Mount Street  
Sydney NSW 2060

title  
**General Arrangement Plans  
Level 23 Roof Terrace & Plant**

| scale        | 1:100 @ A1 | first issued | 30/9/16 |
|--------------|------------|--------------|---------|
| project code | 2118M      | sheet no.    | DA-2009 |
| revision     |            | revision     | 15      |



- GENERAL NOTES**
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
  - ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
  - DO NOT SCALE DRAWINGS.
  - USE FIGURED DIMENSIONS ONLY.

**Legend**

**NOTES**

Signage is subject to a future DA.

**FACADE TYPES**

**FAC01** - Typical Curtain wall system composed of full height, DGU/GU panel with continuous aluminium spandrel to floor / services zone.

**FAC02** - Non-glazed curtain wall system composed of full height horizontal aluminium balustrade screen with aluminium sheet cladding (air seal) behind, with continuous aluminium spandrel panel to services zone.

**FAC03** - Glazed curtain wall system composed of a full height DGU/GU panel with full height horizontal aluminium balustrade screen over and with continuous aluminium spandrel panel to services zone.

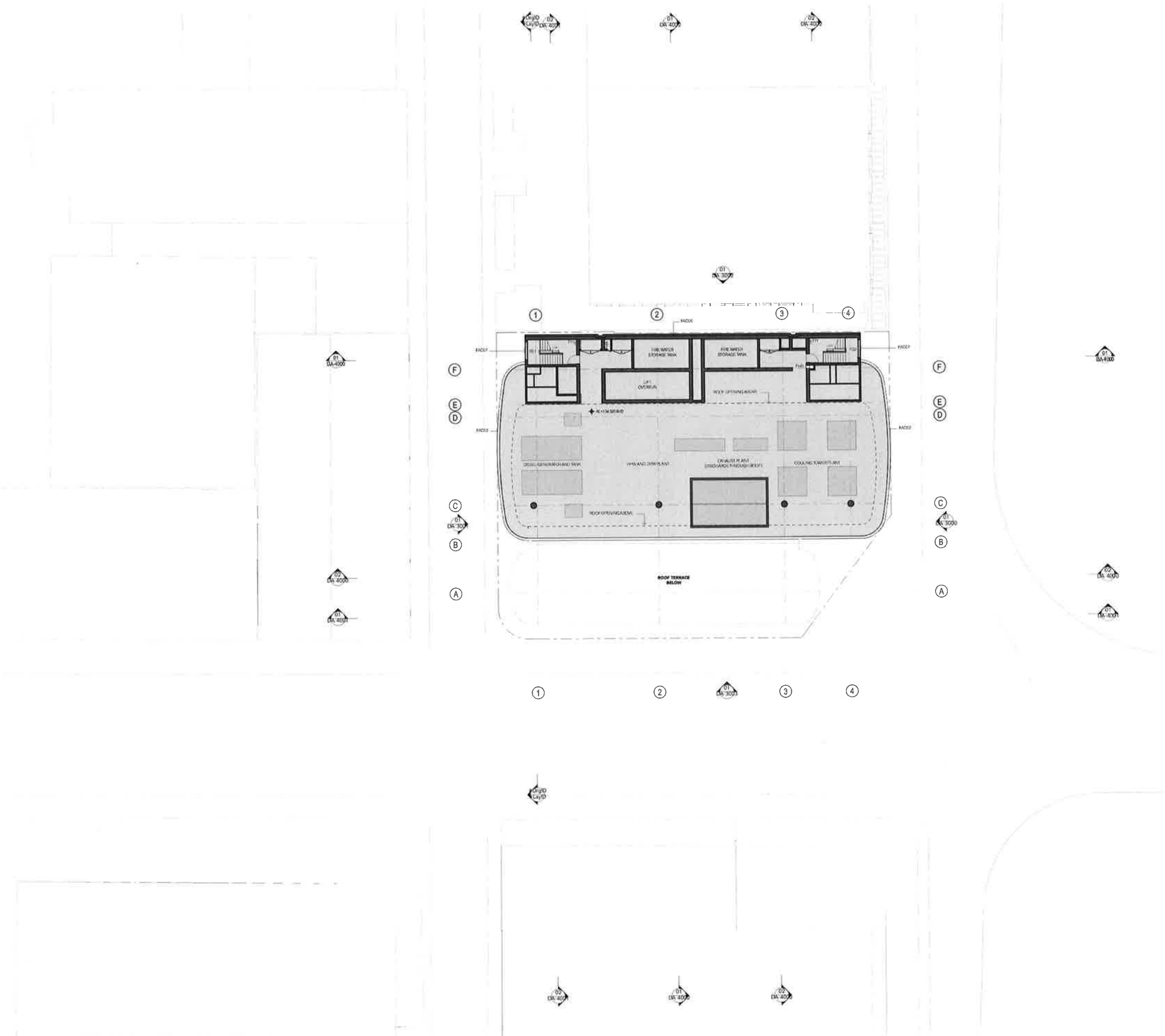
**FAC04** - Natural stone cladding over concrete/masonry substrate on pin fixings.

**FAC05** - Frameless full height (5.7m high) glass shopfront system (Single spans not broken)

**FAC06** - Terracotta tile rain-screen cladding system over structural concrete wall

**FAC07** - Window wall glazing system with fixed sashes to fire egress door.

**FAC08** - Concrete wall painted



**01** PLAN Level 24 Plant  
1:200

| rev | date    | name                                    | by  | chk |
|-----|---------|-----------------------------------------|-----|-----|
| 15  | 4/5/17  | Issued for Client Review and Discussion | Smo | n   |
| 14  | 18/4/17 | Issued for Information                  | Smo | n   |
| 13  | 2/4/17  | Issued for Information                  | Smo | n   |

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**fjmt**

project  
**118 Mount Street - Redevelopment**  
118 Mount Street  
Sydney NSW 2060

title  
**General Arrangement Plans**  
**Level 24 Plant Room**

| scale        | 1:100 @ A1 | first issued | 30/10/16 |
|--------------|------------|--------------|----------|
| project code | Z118M      | sheet no.    | DA-2010  |
| revision     | 15         | revision     | 15       |

**For Approval**

**GENERAL NOTES**

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DRAWINGS.
- USE FIGURED DIMENSIONS ONLY.

Legend

**NOTES**

Signage is subject to a future DA.

**FACADE TYPES**

**FAC01** - Typical Curtain wall system composed of full height DGU/GU panel with continuous aluminum spandrel to floor/ service zone.

**FAC02** - Non-glazed curtain wall system composed of full height horizontal aluminum bottom screen with aluminum sheet cladding (air seal) behind with continuous aluminum spandrel panel to service zone.

**FAC03** - Glazed curtain wall system composed of a full height DGU/GU panel with full height horizontal aluminum bottom screen over and with continuous aluminum spandrel panel to service zone.

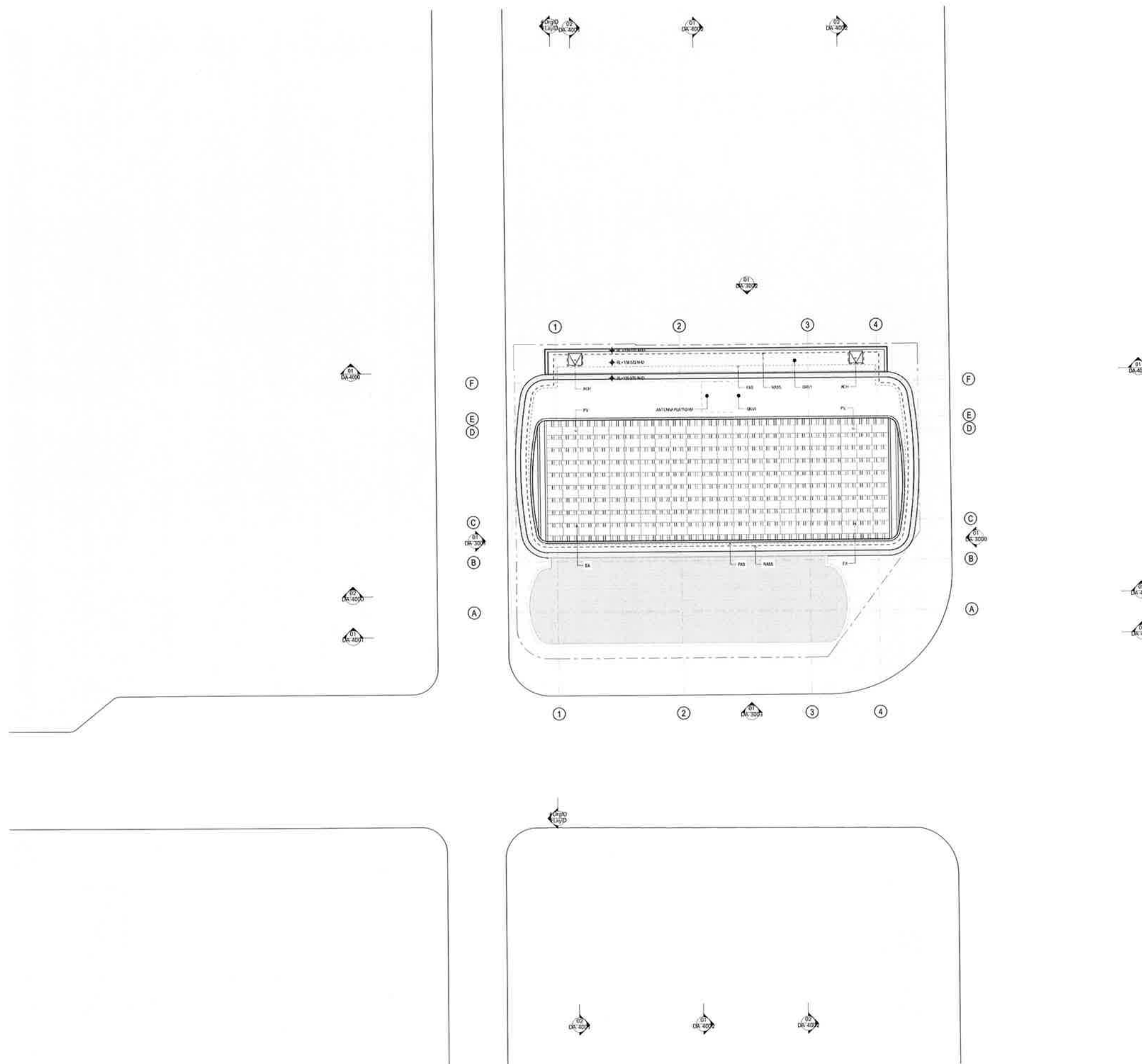
**FAC04** - Natural stone cladding over concrete/masonry substrate on pin fixings.

**FAC05** - Frameless full height (6.7m high) glass shopfront system. (Single spans not broken).

**FAC06** - Terracotta tile rain screen cladding system over structural concrete wall.

**FAC07** - Window wall glazing system with fixed sashes to fire egress stair.

**FAC08** - Concrete wall painted.



01 PLAN Level 25 Roof  
1:200

| rev | date     | name                                | by | chk |
|-----|----------|-------------------------------------|----|-----|
| 01  | 11/11/17 | Issue for Construction and Erection | by | chk |
| 02  | 12/11/17 | Issue for Construction              | by | chk |
| 03  | 22/11/17 | Issue for Construction              | by | chk |

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project  
**118 Mount Street - Redevelopment**  
118 Mount Street  
Sydney NSW 2000

title  
**General Arrangement Plans**  
**Level 25 Roof**

| scale        | 1:100 @ A1 | first issued | 30/09/16 |
|--------------|------------|--------------|----------|
| project code | sheet no.  | revision     |          |
| Z118M        | DA-2011    | 15           |          |

For Approval

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0 1 2 3m

**GENERAL NOTES**

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK
- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM
- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY

**NOTES**

Signage is subject to a future DA

**FACADE TYPES**

**FAC01** - Typical Curtain wall system composed of full height DGL/IGL panel with continuous aluminium spandrel to floor/ services zone.

**FAC02** - Non-glazed curtain wall system composed of full height horizontal aluminium batten screen with aluminium sheet cladding (air-seal) behind, with continuous aluminium spandrel panel to services zone.

**FAC03** - Glazed curtain wall system composed of a full height DGL/IGL panel with full height horizontal aluminium batten screen over and with continuous aluminium spandrel panel to services zone.

**FAC04** - Natural stone cladding over concrete/masonry substrate on pin fixings.

**FAC05** - Frameless full height (87m high) glass shopfront system. (Single spans not broken)

**FAC06** - Terracotta tile rain-screen cladding system over structural concrete wall

**FAC07** - Window wall glazing system with fixed sashes to fire egress stair.

**FAC08** - Concrete wall painted

**Car Park Schedule**

| Level                            | Custom Text    | X Dimension | Y Dimension | Quantity |
|----------------------------------|----------------|-------------|-------------|----------|
| Level 00 Mount St Entry and Cafe |                |             |             |          |
|                                  | NRV            | 3,000       | 8,800       | 1        |
| Basement 01                      |                |             |             |          |
|                                  | Charge Station | 2,400       | 5,400       | 2        |
|                                  | Loading        | 2,400       | 5,400       | 2        |
|                                  | Small Car      | 2,300       | 5,000       | 1        |
| Basement 02                      |                |             |             |          |
|                                  | 1A             | 2,400       | 5,400       | 12       |
|                                  | Accessible     | 3,600       | 5,000       | 1        |
|                                  | Motorcycle     | 1,200       | 2,500       | 4        |
|                                  | Small Car      | 2,300       | 5,000       | 3        |
| Basement 03                      |                |             |             |          |
|                                  | 1A             | 2,400       | 5,400       | 10       |
|                                  | Motorcycle     | 1,200       | 2,500       | 1        |

| rev | date | name | by | chk |
|-----|------|------|----|-----|
|-----|------|------|----|-----|

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sydney melbourne warrington london  
Level 6, 70 King Street L +61 2 9251 7077 w fjmtstudio.com



project  
**118 Mount Street - Redevelopment**  
118 Mount Street  
Sydney NSW 2060

title  
**General Arrangement Plans  
Basement 2**

|              |                |              |            |
|--------------|----------------|--------------|------------|
| scale        | 1:100 @ A1     | first issued | 18/11/2016 |
| project name | sheet no.      | revision     |            |
| <b>2118M</b> | <b>DA-2013</b> | <b>01</b>    |            |



**GENERAL NOTES**

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK

ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'

DO NOT SCALE DRAWINGS

USE FIGURED DIMENSIONS ONLY

Signage is subject to a future DA

**FAC01** - Typical Curtain wall system composed of full height DGU/IGU panel with continuous aluminum spandrel to floor/services zone.

**FAC02** - Non-glazed curtain wall system composed of full height horizontal aluminium batten screen with aluminium sheet cladding (air-seal) behind, with continuous aluminium spandrel panel to services zone.

**FAC03** - Glazed curtain wall system composed of a full height DGU/IGU panel with full height horizontal aluminium batten screen over and with continuous aluminium spandrel panel to services zone.

**FAC04 - Natural stone cladding over concrete/masonry substrate on pin fixings.**

**FAC06** - Frameless full height (6.7m high) glass shopfront system. (Single spans not broken)

**FAC08** - Terracotta tile rain-screen cladding system over structural concrete wall

**FAC07 - Window wall glazing system with fixed sashes to fire egress stair,**

**FAC08 - Concrete wall painted**

| Level 00 Mount St Entry and Exit |                |       |       |    |
|----------------------------------|----------------|-------|-------|----|
|                                  | NRV            | 3,000 | 8,800 | 1  |
| Basement 01                      |                |       |       |    |
|                                  | Charge Station | 2,400 | 5,400 | 2  |
|                                  | Loading        | 2,400 | 5,400 | 2  |
|                                  | Small Car      | 2,300 | 5,000 | 1  |
| Basement 02                      |                |       |       |    |
|                                  | 1A             | 2,400 | 5,400 | 12 |
|                                  | Accessible     | 3,600 | 5,400 | 1  |
|                                  | Motorcycle     | 1,200 | 2,500 | 4  |
|                                  | Small Car      | 2,300 | 5,000 | 3  |
|                                  |                |       |       |    |
| Basement 03                      |                |       |       |    |
|                                  | 1A             | 2,400 | 5,400 | 19 |
|                                  | Motorcycle     | 1,200 | 2,600 | 1  |



0 5 10 20m

**GENERAL NOTE**  
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ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM  
DO NOT SCALE DRAWINGS  
\* USE FIGURED DIMENSIONS ONLY

Legend

**NOTES**

Signage is subject to a future DA

**FACADE TYPES**

**FAC01** - Typical Curtain wall system composed of full height DGU/GGU panels with continuous aluminium spandrel to floor/servicing zone.

**FAC02** - Non-glazed curtain wall system composed of full height horizontal aluminium batten screen with aluminium sheet cladding (in-situ) behind, with continuous aluminium spandrel panel to servicing zone.

**FAC03** - Glazed curtain wall system composed of a full height DGU/GGU panel with full height horizontal aluminium batten screen over and with continuous aluminium spandrel panel to servicing zone.

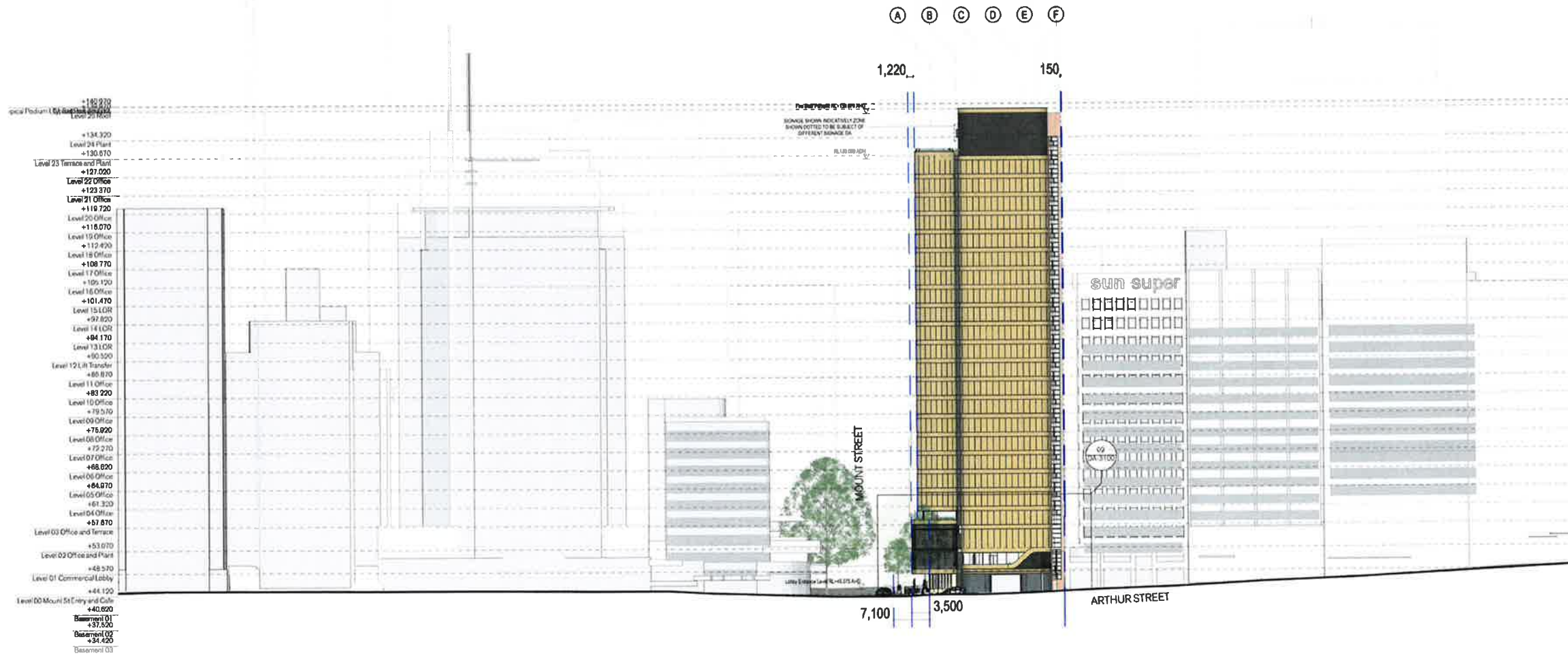
**FAC04** - Natural stone cladding over concrete/masonry substrate on pin fixings.

**FAC05** - Frameless full height (6.7m high) glass shopfront system. (Single spans not broken)

**FAC06** - Terracotta tile rain screen cladding system over structural concrete wall.

**FAC07** - Window wall glazing system with fixed sashes to fire egress stair.

**FAC08** - Concrete wall painted



01 ELEVATION East  
1:500

| rev | date    | name                                  | by  | chk |
|-----|---------|---------------------------------------|-----|-----|
| 13  | 2/2/17  | Issues for information                | Bar |     |
| 14  | 15/4/17 | Issues for information                | Bar |     |
| 15  | 4/5/17  | Issues for Client Review and Decision | Bar |     |

fynt studio architecture interior landscape urban  
sydney melbourne palm-jordan  
Level 5, 55 King Street, Tel: 02 9251 1017 or [fyntstudio.com](mailto:info@fyntstudio.com)

**fynt**

project  
118 Mount Street - Redevelopment  
118 Mount Street  
Sydney NSW 2060

title  
1:500 Elevations  
East Elevation

| scale        | 1:500 @ A1 | first issued | 30/8/16 |
|--------------|------------|--------------|---------|
| project code | sheet no.  | revision     |         |
| Z118M        | DA-3000    | 15           |         |

**For Approval**

0 5 10 20m

**GENERAL NOTES**  
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ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.  
DO NOT SCALE DRAWINGS.  
USE FIGURED DIMENSIONS ONLY.

Legend

NOTES

Signage is subject to a future DA

**FACADE TYPES**

**FAC01** - Typical Curtain wall system composed of full height DGU/GU panel with continuous aluminium spandrel to floor/ services zone.

**FAC02** - Non-glazed curtain wall system composed of full height horizontal aluminium battens screen with aluminium sheet cladding (in-situ) behind, with continuous aluminium spandrel panel to services zone.

**FAC03** - Glazed curtain wall system composed of a full height DGU/GU panel with full height horizontal aluminium battens screen over and with continuous aluminium spandrel panel to services zone.

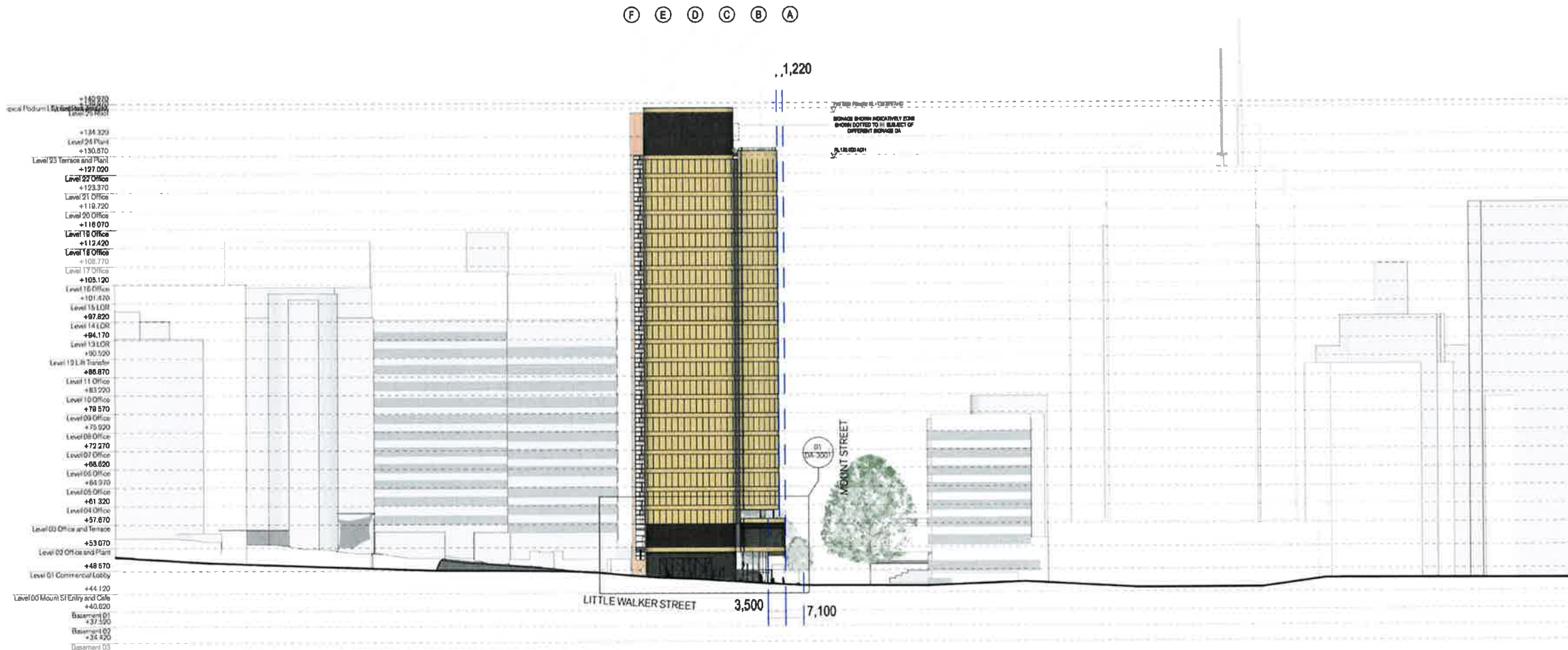
**FAC04** - Natural stone cladding over concrete/masonry substrate on pin fixings

**FAC05** - Frameless full height (3.7m high) glass shopfront system. (Single spans not broken)

**FAC06** - Terracotta tile rain-screen cladding system over structural concrete wall

**FAC07** - Window wall glazing system with fixed sashes to face egress door.

**FAC08** - Concrete wall painted



01 ELEVATION West  
1:500

| rev | date    | notes                                   | by  | chk |
|-----|---------|-----------------------------------------|-----|-----|
| 15  | 4/5/18  | Issued for Client Review and Discussion | Ben | Ben |
| 14  | 15/6/17 | Issued for Information                  | Sam | Sam |
| 13  | 2/2/17  | Issued for Information                  | Sam | Sam |

fynd studio architecture interior landscape urban  
rydley millbourne john o'brien  
Level 5, 70 King Street, Tel 9 9251 1977 w fyndstudio.com

project  
118 Mount Street - Redevelopment  
118 Mount Street  
Sydney NSW 2060

use  
1:500 Elevations  
West Elevation

| scale        | 1:500 @ A1 | first issued | 6/10/16 |
|--------------|------------|--------------|---------|
| project code | sheet no.  | revision     |         |
| Z118M        | DA-3001    | 15           |         |

For Approval

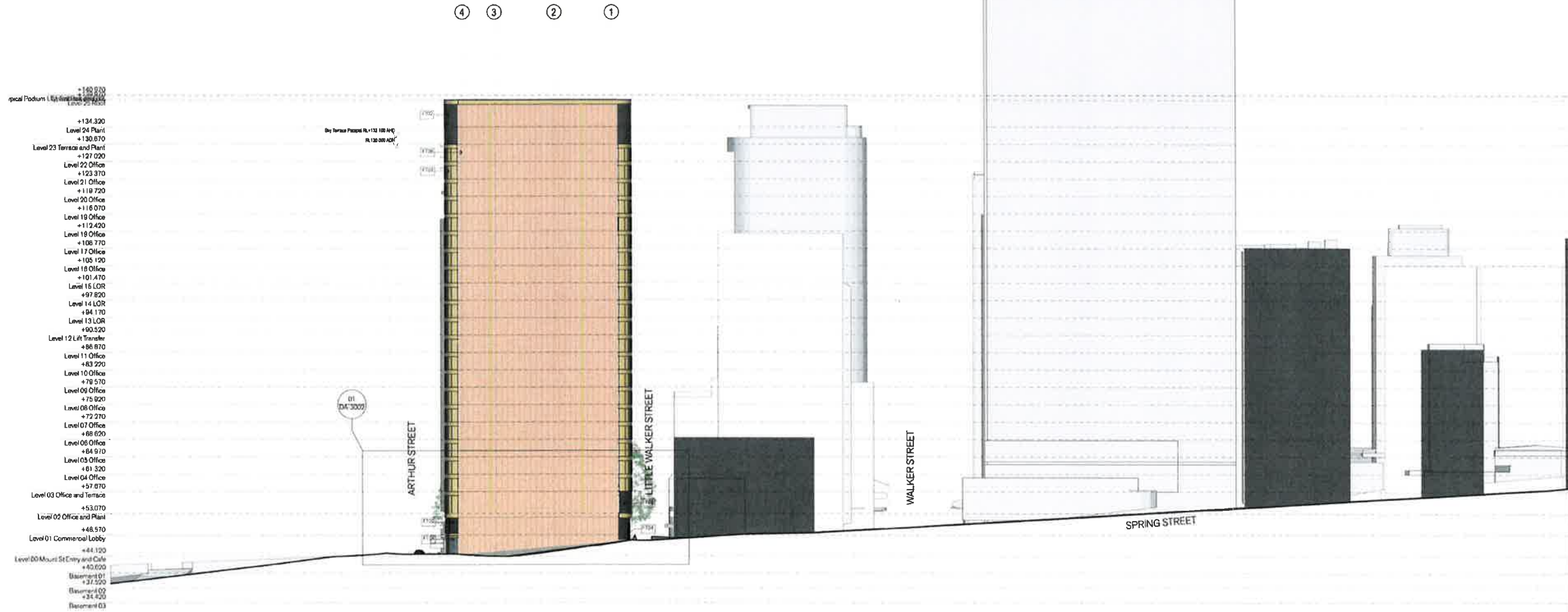
0 5 10 20m

**GENERAL NOTES**  
ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.  
ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.  
DO NOT SCALE DRAWINGS.  
USE FIGURED DIMENSIONS ONLY.

**NOTES**  
Signage is subject to a future DA.

**FACADE TYPES**

- FAC01** - Typical Curtain wall system composed of full height DGU/GU panel with continuous aluminium spandrel to floor/ service zone.
- FAC02** - Non-glazed curtain wall system composed of full height horizontal aluminium battens with aluminium sheet cladding (see) behind, with continuous aluminium spandrel panel to service zone.
- FAC03** - Glazed curtain wall system composed of a full height DGU/GU panel with full height horizontal aluminium battens over and with continuous aluminium spandrel panel to service zone.
- FAC04** - Natural stone cladding over concrete/masonry substrate on pin fixings.
- FAC05** - Frameless full height (6.7m high) glass shopfront system. (Single span not broken).
- FAC06** - Terracotta tile rain screen cladding system over structural concrete wall.
- FAC07** - Window wall glazing system with fixed sashes to fire egress stair.
- FAC08** - Concrete wall painted.



**01** ELEVATION North  
1:500

|     |          |                                         |                |
|-----|----------|-----------------------------------------|----------------|
| 18  | 15/12/17 | Issued for Client Review and Discussion | Sm<br>n<br>Bar |
| 19  | 2/12/19  | Issued for Information                  | Sm<br>n<br>Bar |
| 12  | 22/1/17  | Issued for Consultant Coordination      | Sm<br>n<br>Bar |
| rev | date     | name                                    | by             |

frj architecture interiors landscape urban  
sydney melbourne london  
Level 5, 70 King Street | 61 2 9251 7077 | frjstudio.com

**fjmt**

project  
**118 Mount Street - Redevelopment**  
118 Mount Street  
Sydney NSW 2060

**1:500 Elevations**  
**North Elevation**

|              |            |              |         |
|--------------|------------|--------------|---------|
| scale        | 1:500 @ A1 | first issued | 30/9/16 |
| project code | Z118M      | sheet no.    | DA-3002 |
| revision     |            |              | 14      |

**For Approval**



0 5 10 20m

**GENERAL NOTES**

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- DO NOT SCALE DRAWINGS
- USE FIGURED DIMENSIONS ONLY

**NOTES**

Signage is subject to a future DA

**FACADE TYPES**

**FAC01** - Typical Curtain wall system composed of full height DGL/IGL panel with continuous aluminum spandrel to floor/servicetone.

**FAC02** - Non-glazed curtain wall system composed of full height horizontal aluminum battens screen with aluminum sheet cladding (air-sets) behind with continuous aluminum spandrel panel to servicetone.

**FAC03** - Glazed curtain wall system composed of a full height DGL/IGL panel with full height horizontal aluminum battens screen over and with continuous aluminum spandrel panel to servicetone.

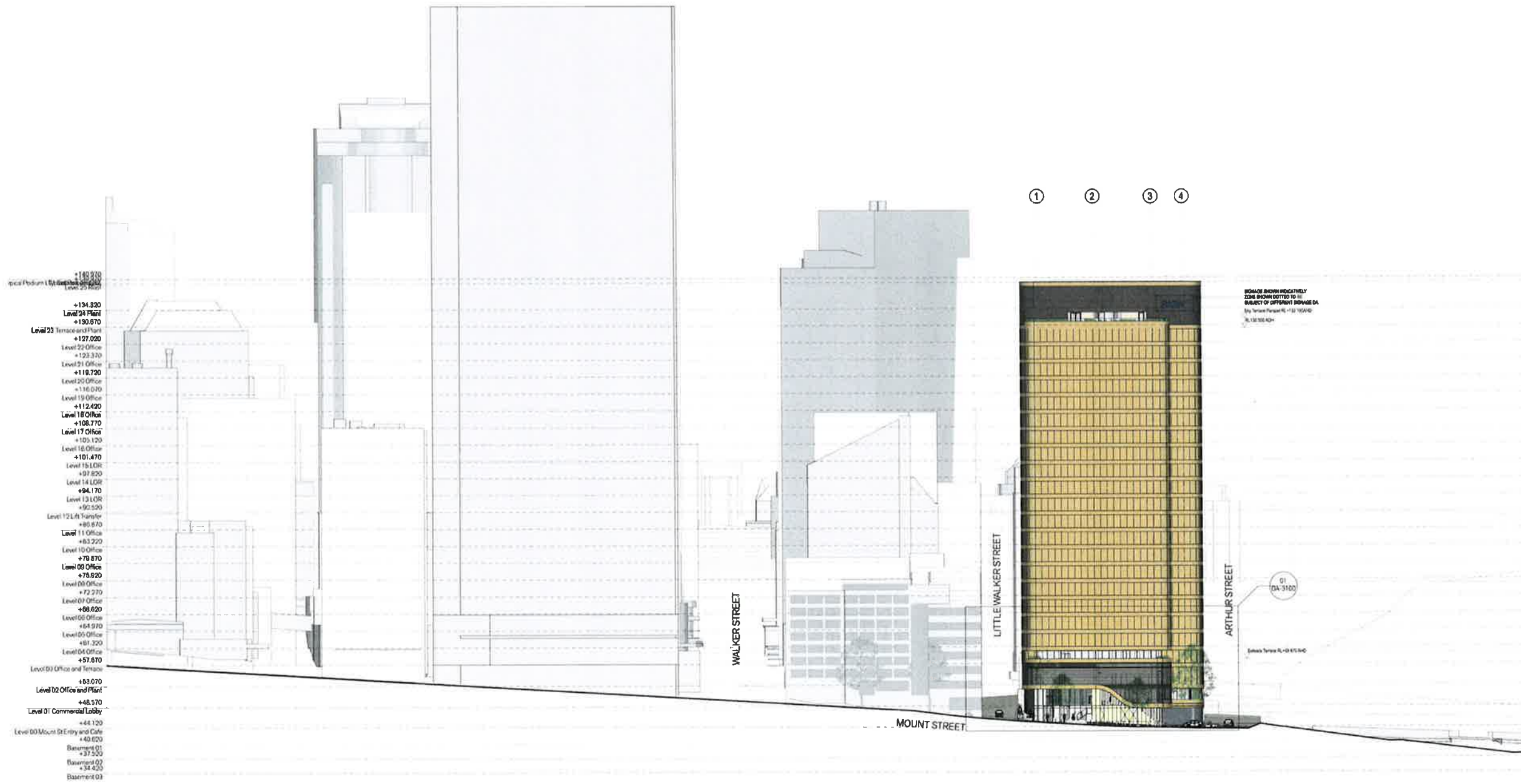
**FAC04** - Natural stone cladding over concrete/masonry substrate on pin fixings.

**FAC05** - Frameless full height (6.7m high) glass shephent system. (Single spans not broken)

**FAC06** - Terracotta tile rain screen cladding system over structural concrete wall.

**FAC07** - Window wall glazing system with fixed sashes to fire egress stair.

**FAC08** - Concrete wall painted



01 ELEVATION South  
1:500

| rev | date    | name                                    | by    | chk |
|-----|---------|-----------------------------------------|-------|-----|
| 13  | 4/9/17  | Issued for Client Review and Discussion | Simon | Bar |
| 14  | 18/9/17 | Issued for Information                  | Simon | Bar |
| 15  | 2/2/17  | Issued for Information                  | Simon | Bar |

frank jones morehead thorp  
sydney melbourne auckland london  
Level 5, 75 King Street, Sydney NSW 2000  
www.frankjonesmoreheadthorp.com

fjmt

project  
118 Mount Street - Redevelopment  
118 Mount Street  
Sydney NSW 2060

title  
1:500 Elevations  
South Elevation

|              |            |              |         |
|--------------|------------|--------------|---------|
| scale        | 1:500 @ A1 | first issued | 9/10/16 |
| project code | Z118M      | sheet no.    | DA-3003 |
|              |            | revision     | 15      |

For Approval

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK  
ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM  
DO NOT SCALE DRAWINGS  
USE FIGURED DIMENSIONS ONLY

Legend

NOTES

Signage is subject to a future DA

FACADE TYPES

**FAC01** - Typical Curtain wall system composed of full height DGU/IGU panel with continuous aluminium spandrel to floor/ services zone.

**FAC02** - Non-glazed curtain wall system composed of full height horizontal aluminium balen screen with aluminium sheet cladding (air-seal) behind with continuous aluminium spandrel panel to services zone.

**FAC03** - Glazed curtain wall system composed of a full height DGU/IGU panel with full height horizontal aluminium balen screen over and with continuous aluminium spandrel panel to services zone.

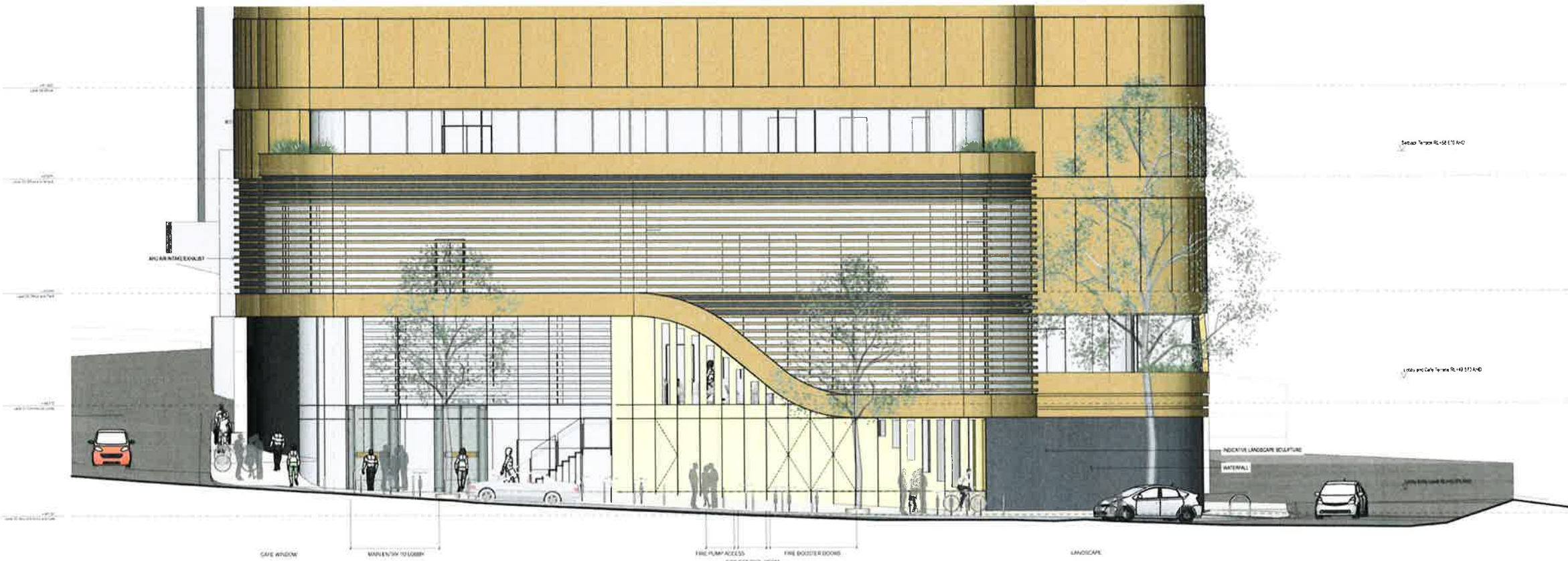
**FAC04** - Natural stone cladding over concrete/masonry substrate on pin fixings.

**FAC05** - Frameless full height (67m high) glass shopfront system. (Single spans not broken)

**FAC06** - Terracotta tile rain screen cladding system over structural concrete wall.

**FAC07** - Window wall glazing system with fixed sashes to fire egress stair.

**FAC08** - Concrete wall painted



01 ELEVATION Mount Street  
1:100



02 ELEVATION Arthur Street  
1:100

| rev | date     | name                                    | by | chk |
|-----|----------|-----------------------------------------|----|-----|
| 15  | 10/01/17 | Issued for Client Review and Discussion |    |     |
| 14  | 05/01/17 | Issued for Client Review and Discussion |    |     |
| 13  | 05/01/17 | Issued for Information                  |    |     |

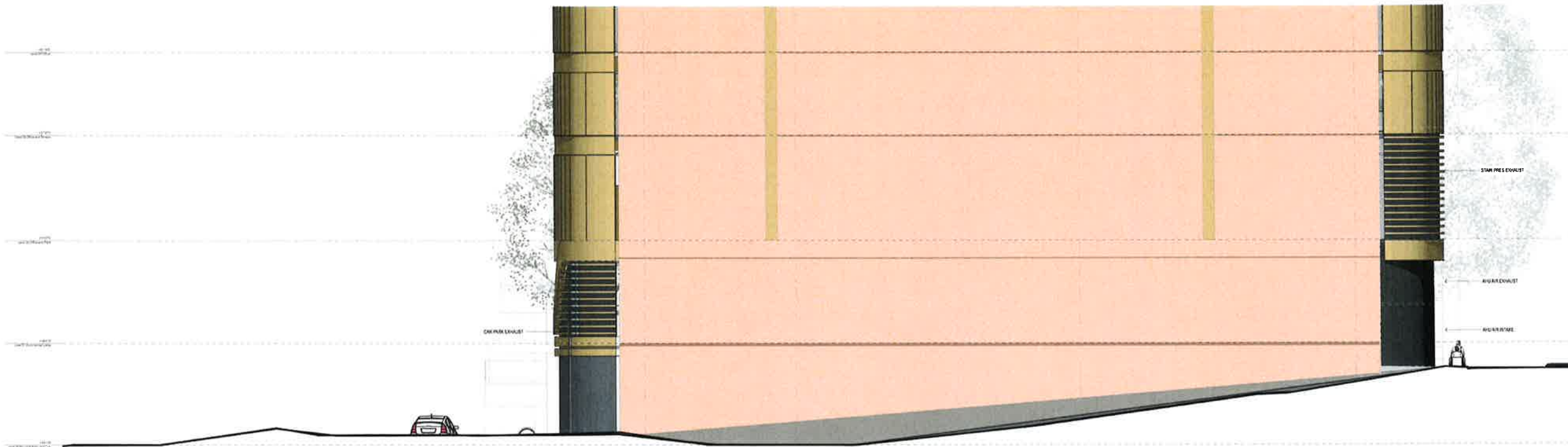
118 Mount Street - Redevelopment  
118 Mount Street  
Sydney NSW 2060

3100 1:100 Elevations  
East & South Streetscapes

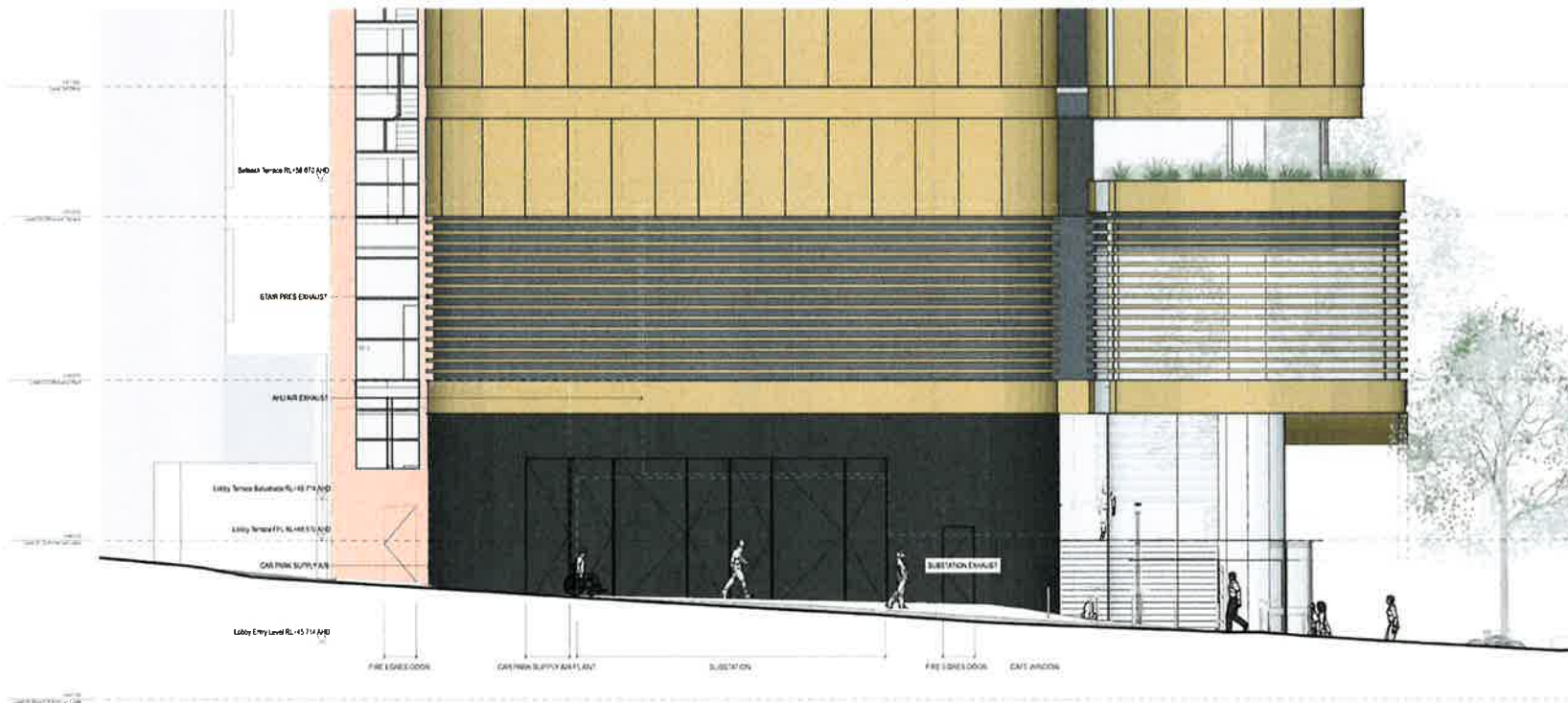
| scale        | 1:100 @ A1 | first issued | 30/01/16 |
|--------------|------------|--------------|----------|
| project code | Z118M      | DA-3100      | 15       |

For Approval





01 ELEVATION Streetscape North  
1:100



02 ELEVATION Little Walker Street  
1:100

0 1 2 3m

**GENERAL NOTES**

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- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM
- DO NOT SCALE DRAWINGS
- USE FIGURED DIMENSIONS ONLY

**NOTES**

Signage is subject to a future DA

#### FACADE TYPES

**FAC01** - Typical Curtain wall system composed of full height DGU/GU panel with continuous aluminum spandrel to floor/services zone

**FAC02** - Non glazed curtain wall system composed of full height horizontal aluminum bottom screen with aluminum sheet cladding (air wall) behind with continuous aluminum spandrel panel to services zone

**FAC03** - Glazed curtain wall system composed of a full height DGU/GU panel with full height horizontal aluminum bottom screen over and with continuous aluminum spandrel panel to services zone

**FAC04** - Natural stone cladding over concrete/masonry substrate on pin fixings

**FAC05** - Frameless full height (6.7m high) glass shopfront system. (Single spans not broken)

**FAC06** - Terracotta tile rain-screen cladding system over structural concrete wall

**FAC07** - Window wall glazing system with fixed sashes to fire egress stair

**FAC08** - Concrete wall painted

|     |          |                                       |         |
|-----|----------|---------------------------------------|---------|
| 14  | 14/01/17 | Issued for Client Review and Decision | Shirley |
| 13  | 13/01/17 | Issued for Information                | Shirley |
| 12  | 12/01/17 | Issued for Information                | Shirley |
| rev | date     | name                                  | by      |

**fjmt studio** architects are a firm of architects and interior designers  
118 Mount Street - Redevelopment  
Level 5, 70 King Street - 01 2251 7077 [fjmtstudio.com](http://fjmtstudio.com)

**fjmt**

project  
**118 Mount Street - Redevelopment**  
118 Mount Street  
Sydney NSW 2000

title  
**3100 1:100 Elevations  
North & West Streetscapes**

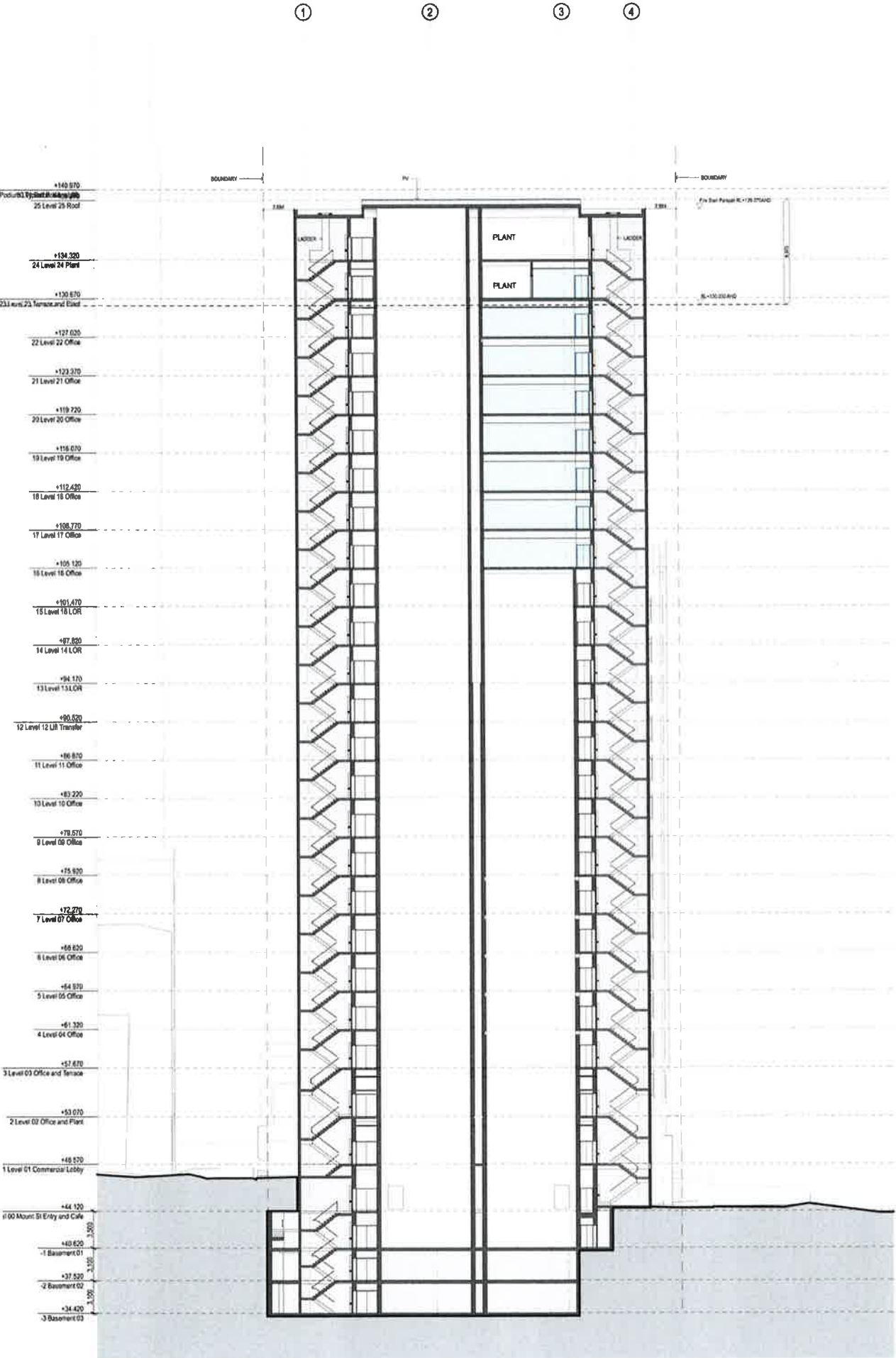
|              |            |          |         |
|--------------|------------|----------|---------|
| scale        | 1:100 @ A1 | Revised  | 30/8/16 |
| project code | client no. | revision |         |
| Z118M        | DA-3101    |          | 14      |

**For Approval**

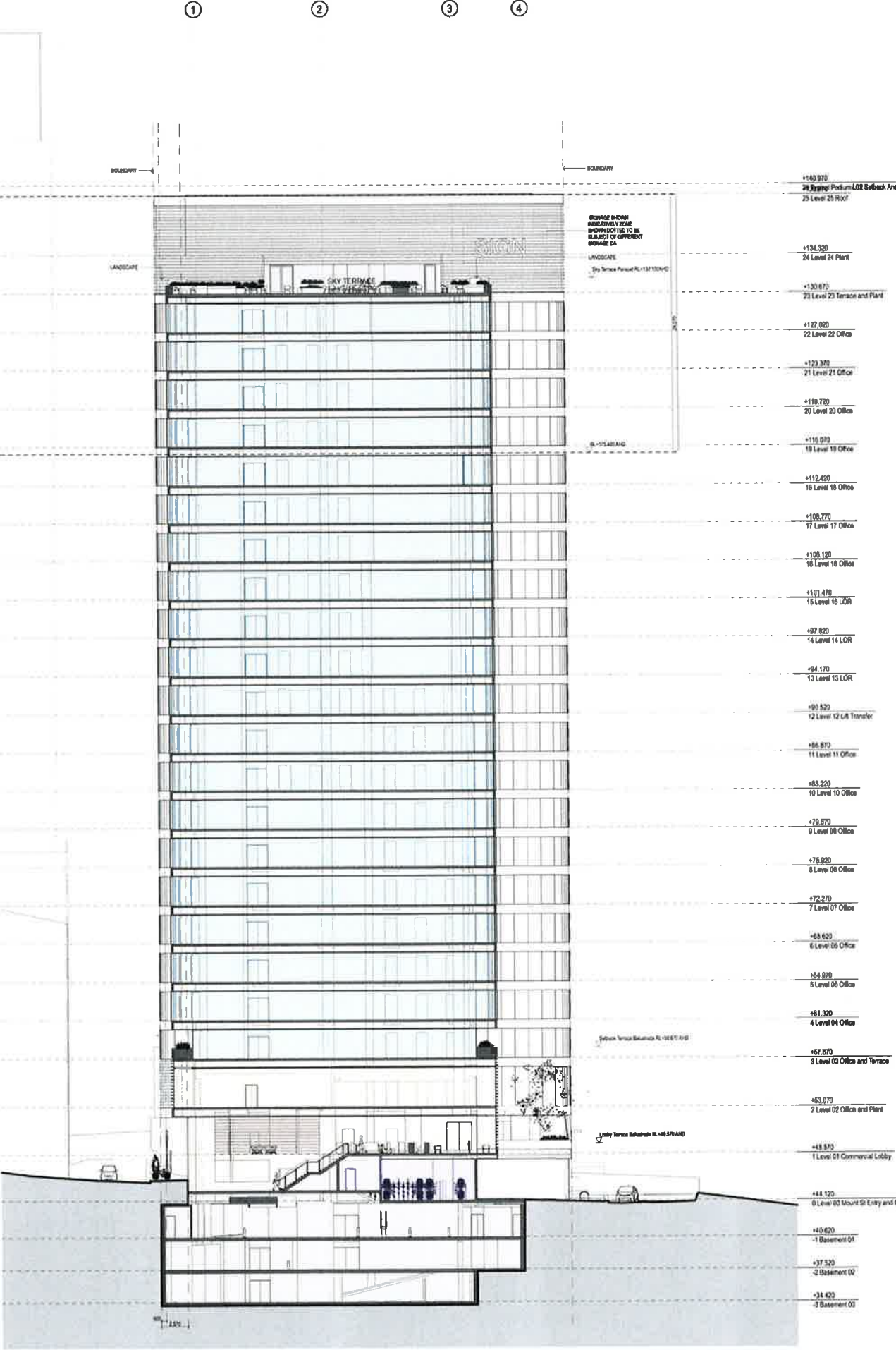
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**GENERAL NOTES**  
ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK  
ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'  
DO NOT SCALE DRAWINGS  
USE FIGURED DIMENSIONS ONLY

- Legend
- NOTES**  
Signage is subject to a future DA
- OFFICE
- COMMERCIAL
- LOBBY
- END OF TRIP
- BASEMENT / STAIRS / LIFTS
- PLANT



01 SECTION A Section E/W Grid D 1:250



02 SECTION B Section E/W Grid A 1:250

| rev | date     | name                                    | by    | chk    |
|-----|----------|-----------------------------------------|-------|--------|
| 15  | 10/04/17 | Issued for Client Review and Discussion | Simon | Walter |
| 14  | 4/04/17  | Issued for Client Review and Discussion | Simon | Walter |
| 13  | 2/04/17  | Issued for Information                  | Simon | Walter |
| 12  | 22/03/17 | Issued for Consultant Coordination      | Simon | Walter |
| 11  | 16/03/17 | DA to permit Set Back                   | Simon | Walter |

118 Mount Street - Redevelopment  
118 Mount Street  
Sydney NSW 2060

1:250 Sections  
Sections Grid D and A

scale 1:250 @ A1 first issued 30/9/16  
project code 2118M sheet no. DA-4000 revision 15

For Approval

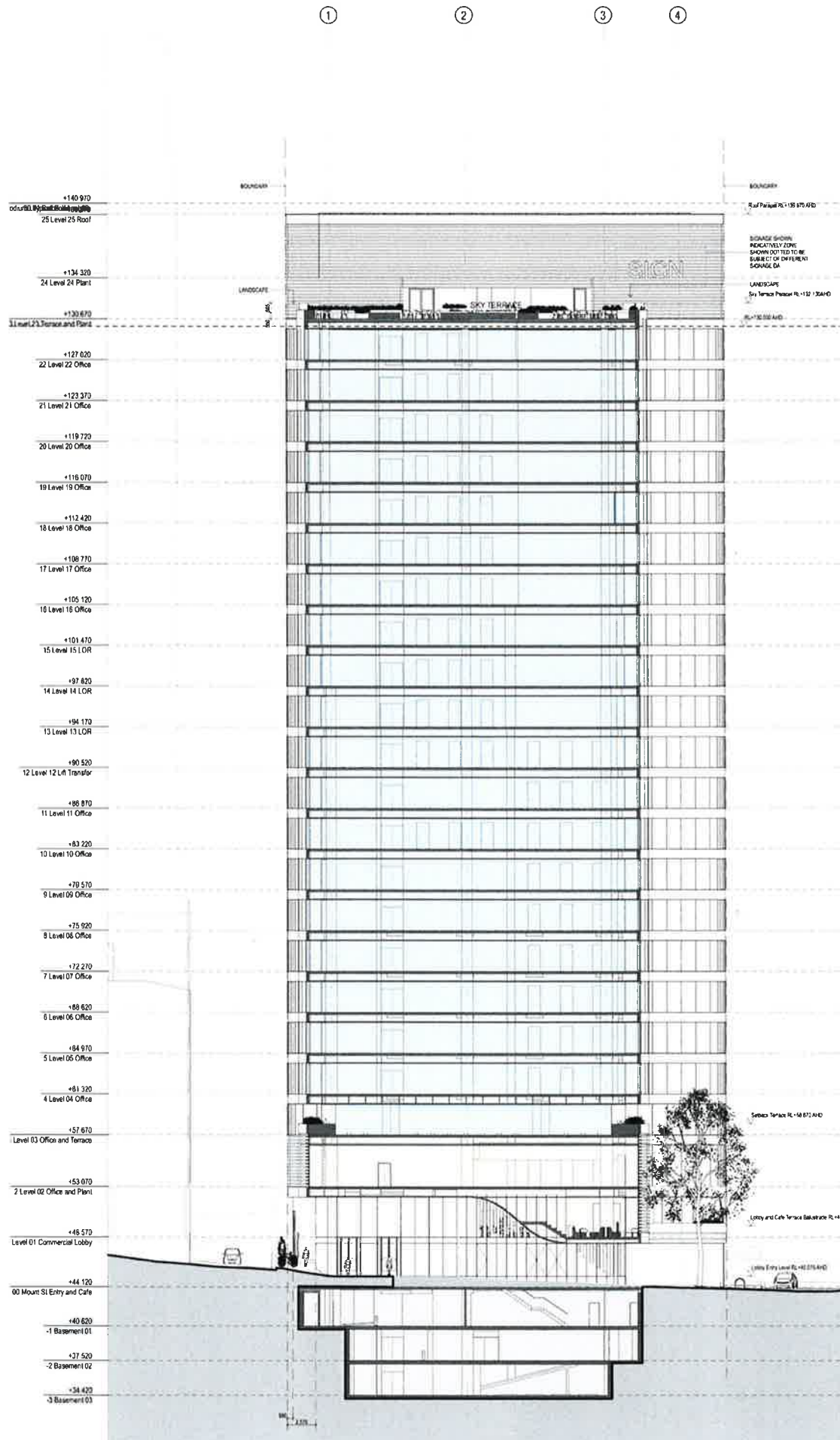


**GENERAL NOTES**  
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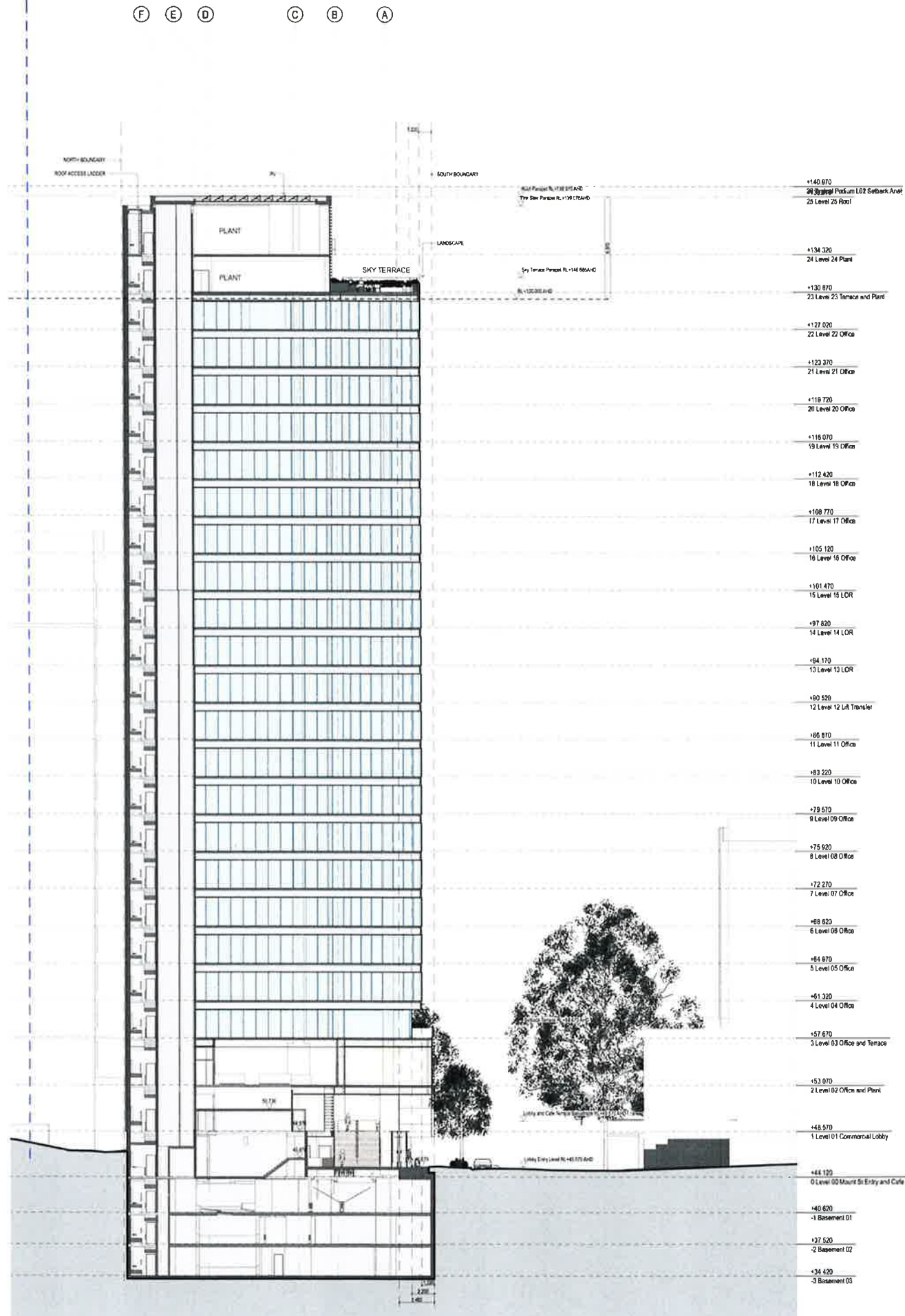
Legend

**NOTES**  
Signage is subject to a future DA

|                           |  |
|---------------------------|--|
| OFFICE                    |  |
| COMMERCIAL                |  |
| LOBBY                     |  |
| END OF TRIP               |  |
| BASEMENT / STAIRS / LIFTS |  |
| PLANT                     |  |



01 SECTION C Section E/W Grid F4  
1:250



02 SECTION D Section N/S Grid 1  
1:250

|    |          |                                         |              |
|----|----------|-----------------------------------------|--------------|
| 16 | 15/05/17 | Issued for Client Review and Discussion | David Miller |
| 17 | 16/05/17 | Issued for Client Review and Discussion | Simon Barr   |
| 18 | 20/05/17 | Issued for Information                  | David Miller |
| 19 | 20/05/17 | Issued for Consultant Coordination      | David Miller |
| 20 | 16/07/16 | DA Drawing Set Update                   | David Miller |

rev date name by chh

**fjmt**  
fjmt studio architecture interiors landscape urban  
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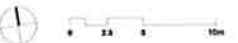
project  
**118 Mount Street - Redevelopment**  
118 Mount Street  
Sydney NSW 2060

title  
**1:250 Sections**  
**Sections Grid F4 and 1**

|              |            |              |          |
|--------------|------------|--------------|----------|
| scale        | 1:250 @ A1 | first issued | 30/07/16 |
| project code | Z118M      | sheet no.    | DA-4001  |
| revision     |            |              | 15       |

**For Approval**





**GENERAL NOTES**  
ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK  
ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM  
DO NOT SCALE DRAWINGS  
USE FIGURED DIMENSIONS ONLY

Legend

**NOTES**

Signage is subject to a future DA

OFFICE

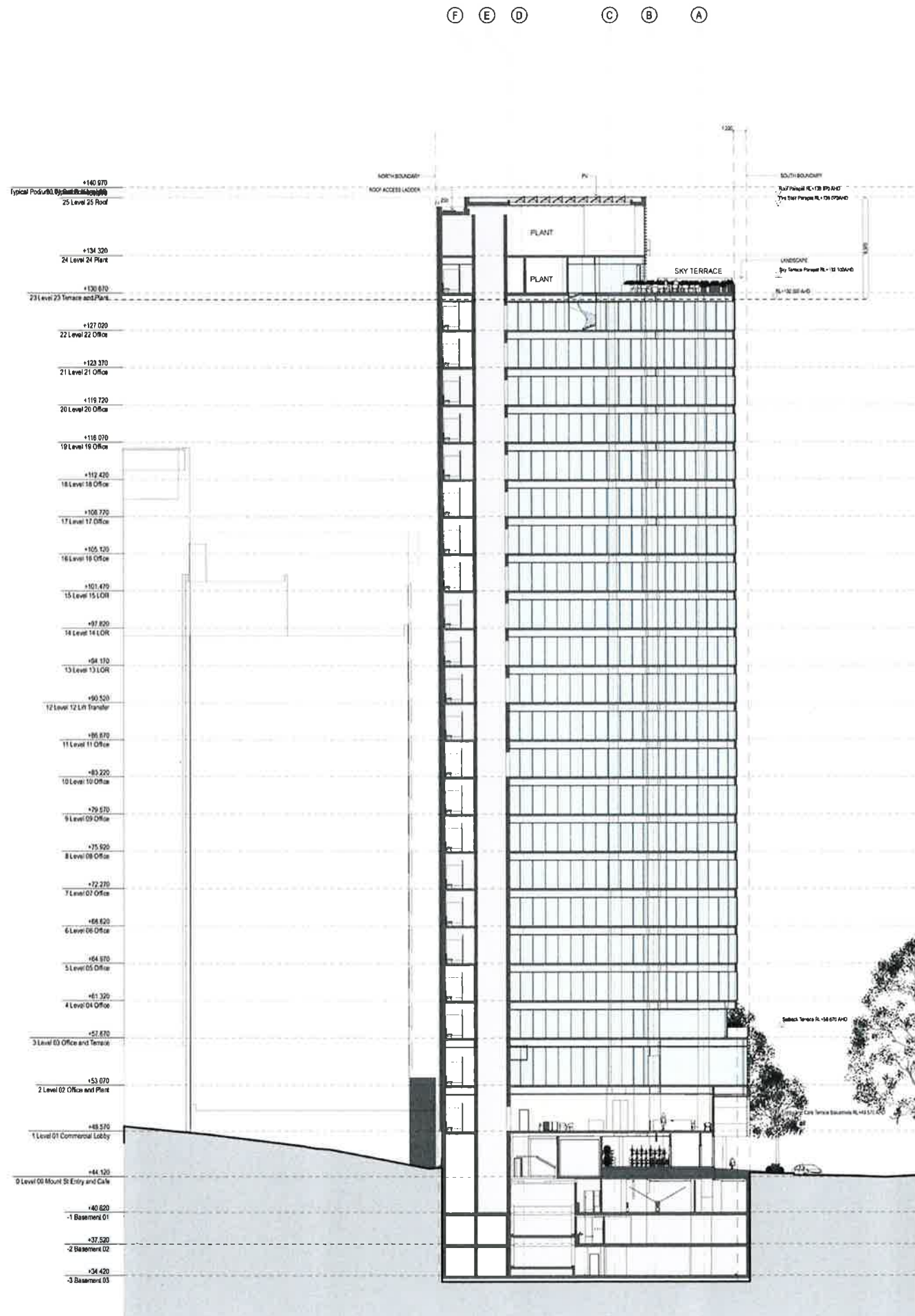
COMMERCIAL

LOBBY

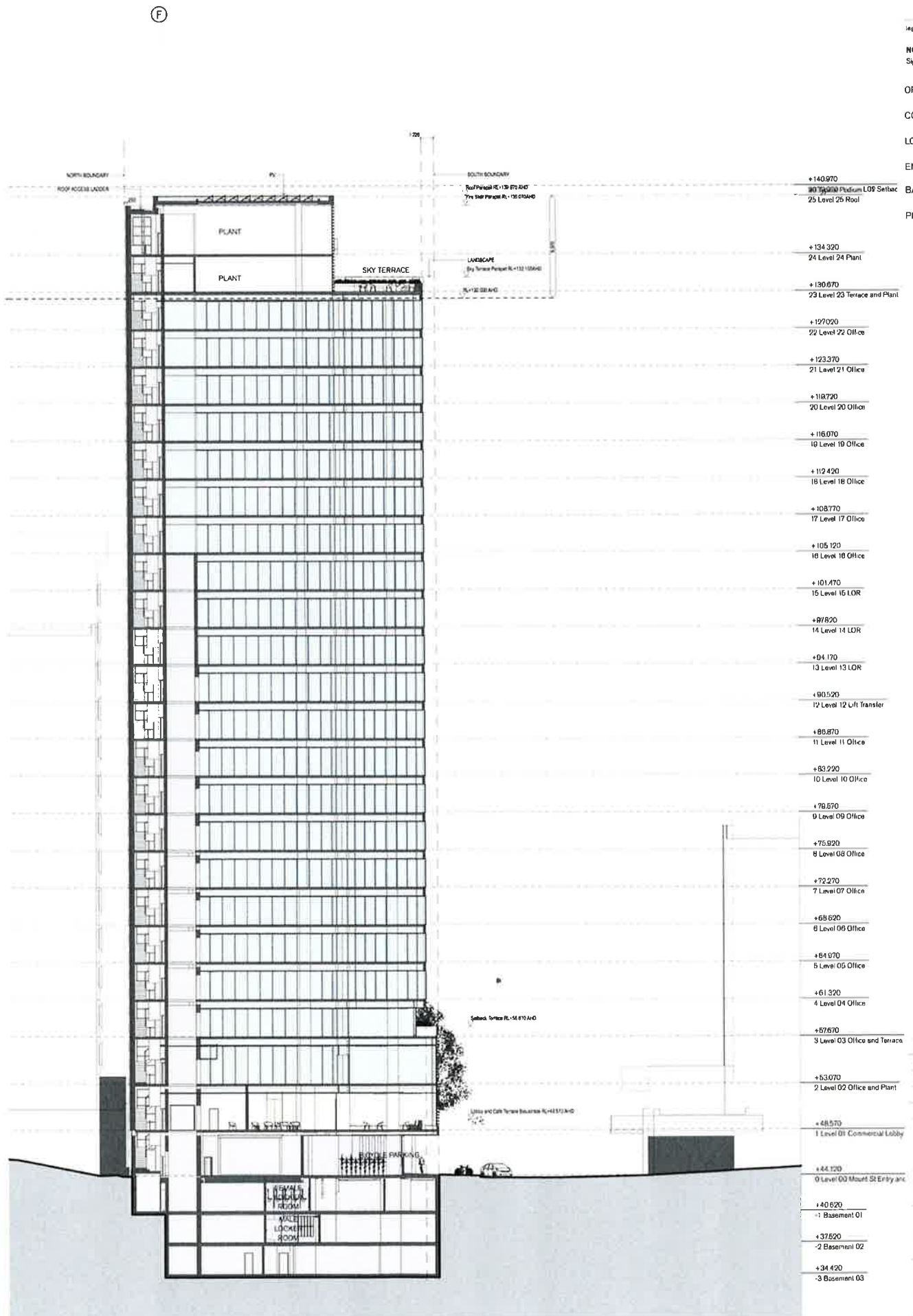
END OF TRIP

BASEMENT / STAIRS / LIFTS

PLANT



01 SECTION E Section N/S Grid 2  
1:250



02 SECTION F Section N/S Grid 4  
1:250

| rev | data     | name                                    | by    | chk     |
|-----|----------|-----------------------------------------|-------|---------|
| 19  | 10/05/17 | Issues for Client Review and Discussion | David | Michael |
| 18  | 08/01/17 | Issues for Client Review and Discussion | Simon | Barry   |
| 16  | 30/01/17 | Issues for Information                  | Simon | Barry   |
| 15  | 23/01/17 | Issues for Consultant Coordination      | David | Michael |
| 11  | 16/11/16 | DA Drawing Set Update                   | David | Michael |

**fjmt studio** architecture interior landscape urban  
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Level 5, 70 King Street + 61 2 9251 7077 [www.fjmt.com](http://www.fjmt.com)

project  
**118 Mount Street - Redevelopment**  
118 Mount Street  
Sydney NSW 2060

title  
**1:250 Sections**  
**Sections Grid 2 and 4**

scale 1:250 @ A1  
project code **Z118M**  
sheet no **DA-4002**  
revision 15  
date issued 30/9/16

**For Approval**